

CONDOMINIUM PUBLIC REPORT

Prepared & Issued by:

Developer The Royal Palm Development Company, LLC
Address 2416 Polk Street, San Francisco, California 94109

Project Name(*): THE ROYAL PALM AT WAIPIO - PHASES II & III
Address: See attached page 1a
(Conversion)

Registration No. 3653 Effective date: February 27, 2001
Expiration date: March 27, 2002

Preparation of this Report:

This report has been prepared by the Developer pursuant to the Condominium Property Act, Chapter 514A, Hawaii Revised Statutes, as amended. This report is not valid unless the Hawaii Real Estate Commission has issued a registration number and effective date for the report.

This report has not been prepared or issued by the Real Estate Commission or any other government agency. Neither the Commission nor any other government agency has judged or approved the merits or value, if any, of the project or of purchasing an apartment in the project.

Buyers are encouraged to read this report carefully, and to seek professional advice before signing a sales contract for the purchase of an apartment in the project.

Expiration Date of Reports. Preliminary Public Reports and Final Public Reports automatically expire thirteen (13) months from the effective date unless a Supplementary Public Report is issued or unless the Commission issues an order, a copy of which is attached to this report, extending the effective date for the report.

Exception: The Real Estate Commission may issue an order, a copy of which shall be attached to this report, that the final public report for a two apartment condominium project shall have no expiration date.

Type of Report:

PRELIMINARY: (yellow) The developer may not as yet have created the condominium but has filed with the Real Estate Commission minimal information sufficient for a Preliminary Public Report. A Final Public Report will be issued by the developer when complete information is filed.

FINAL: (white) The developer has legally created a condominium and has filed complete information with the Commission.
[] No prior reports have been issued.
[] This report supersedes all prior public reports.
[] This report must be read together with

SUPPLEMENTARY: (pink) This report updates information contained in the:
[] Preliminary Report dated:
[X] Final Public Report dated: December 13, 1996
[] Supplementary Public Report dated:
And [X] Supersedes all prior public reports
[] Must be read together with
[] This report reactivates the

(*)Exactly as named in the Declaration
This material can be made available for individuals with special needs. Please call the Senior Condominium Specialist at 586-2644 to submit your request.

FORM: RECO-30 286/986/189/1190/892/0197/1098/0800

PHASE II:

BUILDING 8: 94-1352 Kulewa Loop, Waipahu, Oahu
BUILDING 9: 94-1358 Kulewa Loop, Waipahu, Oahu
BUILDING 10: 94-1364 Kulewa Loop, Waipahu, Oahu
BUILDING 11: 94-1370 Kulewa Loop, Waipahu, Oahu
BUILDING 12: 94-1374 Kulewa Loop, Waipahu, Oahu
BUILDING 13: 94-1375 Kulewa Loop, Waipahu, Oahu
BUILDING 14: 94-1369 Kulewa Loop, Waipahu, Oahu
BUILDING 15: 94-1363 Kulewa Loop, Waipahu, Oahu
BUILDING 16: 94-1359 Kulewa Loop, Waipahu, Oahu

PHASE III:

BUILDING 22: 94-1419 Polani Street, Waipahu, Oahu
BUILDING 23: 94-1411 Polani Street, Waipahu, Oahu
BUILDING 24: 94-1405 Polani Street, Waipahu, Oahu
BUILDING 25: 94-1399 Polani Street, Waipahu, Oahu
BUILDING 26: 94-1391 Polani Street, Waipahu, Oahu
BUILDING 27: 94-1390 Polani Street, Waipahu, Oahu
BUILDING 28: 94-1398 Polani Street, Waipahu, Oahu
BUILDING 29: 94-1404 Polani Street, Waipahu, Oahu
BUILDING 30: 94-1410 Polani Street, Waipahu, Oahu

Disclosure Abstract: Separate Disclosure Abstract(s) on this condominium project:

Required and attached to this report as Exhibit N and N-1 Not Required - Disclosures covered in this report.

Summary of Changes from Earlier Public Reports:

This summary contains a general description of the changes, if any, made by the developer since the last public report was issued. It is not necessarily all-inclusive. Prospective buyers should compare this public report with the earlier reports if they wish to know the specific changes that have been made.

No prior reports have been issued by the developer.

Changes made are as follows:

1. On page 5 of this report, the following revisions have been made:

- a. Properties Unlimited, Inc. has been substituted as the new Real Estate Broker for the Project;
- b. Old Republic Title and Escrow of Hawaii, Ltd. has been substituted as the Escrow Company for the Project; and
- c. Dwyer Imanaka Schraff Kudo Meyer & Fujimoto has been substituted as the Attorney for the Developer of the Project.

2. On page 6 of this report, Sections II.A, II.B and II.C have been revised to reflect the recordation of (i) two (2) amendments to the Declarations of Condominium Regime for Phases II and III of the Project and (ii) an amendment to the Bylaws of the Association of Apartment Owners for each such Phase, which occurred subsequent to the issuance of the Final Public Report for this Project.

3. On page 11 of this report, Section III.C.6 was revised to reflect that the range of the net area of a lanai or patio for a studio apartment ranges from 42 to 137 square feet. The prior report issued for the Project stated that the net area for lanais and patios in this type of apartment ranged from between 42 to 133 square feet.

4. On page 16 of this report, Section III.G was revised to note that, although construction of Phases II and III was completed in 1986, the Developer has begun limited renovations to each unsold apartment of the Project.

5. The first paragraph of Section I of Exhibit A was revised to read as follows: "In paragraph S of the Declaration, the Developer reserves the right, at any time prior to the recordation of apartment deeds conveying to parties not a signatory to the Declaration apartments to which are appurtenant more than twenty-five percent (25%) of the common interests of the Project, to amend the Declaration and the By-Laws in any manner as the Developer may deem fit, and specifically, may amend the designation of the parking stalls appurtenant to the apartments." This paragraph previously stated that the reserved right described therein could only be exercised by the Developer prior to the conveyance of any apartment to a buyer.

The second paragraph of Section III of Exhibit A was revised to correctly reflect what the Developer's reserved rights are with respect to changing the configuration, number of rooms, size and location of any apartment, and increasing or decreasing the purchase price for any apartment.

6. Exhibit H of this report sets forth the current encumbrances on title for both Phases II and III of this Project, as reflected on updated title reports prepared by Old Republic Title and Escrow of Hawaii dated January 25, 2001.

7. Exhibit J of this report was revised in its entirety since the Developer is using a new form of Purchase Agreement for the Project.

8. Exhibit K of this report was revised in its entirety since the Developer entered into a new Escrow Agreement with the Escrow Agent for this Project.

9. Exhibit L of this report was revised in its entirety since the Developer is using a new Apartment Deed form for this Project.

10. Other minor and technical revisions were made throughout this report.

SPECIAL NOTES

1. With respect to Paragraph 5 of the Disclosure Abstracts attached to this Public Report as Exhibits "N" and "N-1" (the Disclosure Abstracts"), it should be noted that the pertinent reference to the warranties issued for the Project is Paragraph 15 of the Purchase Agreement, as the Developer will be using a new form of Purchase Agreement. It is recommended that the Purchasers review said Paragraph 15 which also discusses the Developer's disclaimer of warranties.
2. Purchasers should disregard the breakdown of initial maintenance fees set forth in the Disclosure Abstracts. The current estimate of initial maintenance fees for Phase II, and budgeted maintenance fees for Phase III, are set forth in Exhibits "M" and "M-1" attached to this Public Report, respectively.
3. The remaining information set forth in each Disclosure Abstract remains accurate as of the date thereof.

General Information On Condominiums

A condominium is a special form of real property. To create a condominium in Hawaii, the requirements of the Condominium Property Act, Chapter 514A, Hawaii Revised Statutes, must be complied with. In addition, certain requirements and approvals of the County in which the project is located must be satisfied and obtained.

Some condominium projects are leasehold. This means that the land or the building(s) and other improvements are leased to the buyer. The lease for the land usually requires that at the end of the lease term, the lessees (apartment owners/tenants) deliver their interest in the land to the lessor (fee property owner). The lease also usually requires that the lessees either (1) convey to the lessor the building(s) and other improvements, including any improvements paid for by the lessees; or (2) remove or dispose of the improvements at the lessee's expense. Leases for individual apartments often require that at the end of the lease term, the lessee deliver to the lessor the apartment, including any improvements placed in the apartment by the lessee.

If you are a typical condominium owner, you will have two kinds of ownership: (1) ownership in your individual apartment; and (2) an undivided interest in the common elements.

"Common elements" are the areas of the condominium project other than the individual apartments. They are owned jointly by all apartment owners and include the land, either in fee simple or leasehold, and those parts of the building or buildings intended for common use such as foundations, columns, roofs, halls, elevators, and the like. Your undivided interest in the common elements cannot be separated from ownership of your apartment.

In some condominium projects, some common elements are reserved for the exclusive use of the owners of certain apartments. These common elements are called "limited common elements" and may include parking stalls, patios, lanais, trash chutes, and the like.

You will be entitled to exclusive ownership and possession of your apartment. Condominium apartments may be individually bought, sold, rented, mortgaged or encumbered, and may be disposed of by will, gift, or operation of law.

Your apartment will, however, be part of the group of apartments that comprise the condominium project. Study the project's Declaration, Bylaws, and House Rules. These documents contain important information on the use and occupancy of apartments and the common elements as well as the rules of conduct for owners, tenants, and guests.

Operation of the Condominium Project

The Association of Apartment Owners is the entity through which apartment owners may take action with regard to the administration, management, and operation of the condominium project. Each apartment owner is automatically a member of the Association.

The Board of Directors is the governing body of the Association. Unless you serve as a board member or an officer, or are on a committee appointed by the board, your participation in the administration and operation of the condominium project will in most cases be limited to your right to vote as an apartment owner. The Board of Directors and officers can take certain actions without the vote of the owners. For example, the board may hire and fire employees, increase or decrease maintenance fees, borrow money for repair and improvements and set a budget. Some of these actions may significantly impact the apartment owners.

Until there is a sufficient number of purchasers of apartments to elect a majority of the Board of Directors, it is likely that the developer will effectively control the affairs of the Association. It is frequently necessary for the developer to do so during the early stages of development and the developer may reserve certain special rights to do so in the Declaration and Bylaws. Prospective buyers should understand that it is important to all apartment owners that the transition of control from the developer to the apartment owners be accomplished in an orderly manner and in a spirit of cooperation.

I. PERSONS CONNECTED WITH THE PROJECT

Developer: The Royal Palm Development Company, LLC Phone: (415) 512-1400
Name* (Business)
2416 Polk Street
Business Address
San Francisco, California 94109

Names of officers or general partners of developer who are corporations; general partners of a partnership; partners of a Limited Liability Partnership (LLP); or manager and members of a Limited Liability Company (LLC) (attach separate sheet if necessary):

Manager: Craig Vallely
2416 Polk Street
San Francisco, California 94109

Real Estate Broker*: Properties Unlimited, Inc. Phone: (808) 487-3855
Name (Business)
4510 Salt Lake Blvd., B-4
Business Address
Honolulu, Hawaii 96818-3154

Escrow: Old Republic Title and Escrow of Hawaii, Ltd. Phone: (808) 566-0100
Name (Business)
733 Bishop Street, Suites 2600 & 2700
Business Address
Honolulu, Hawaii 96813

General Contractor*: _____ Phone: _____
Name (Business)
Business Address

Condominium Managing Agent*: Certified Management, Inc. Phone: (808) 836-0911
Name (Business)
3179 Koapaka Street, 2nd Floor
Business Address
Honolulu, Hawaii 96819-1927

Attorney for Developer: Dwyer Imanaka Schraff Kudo Meyer & Fujimoto Phone: (808) 524-8000
Name (Business)
900 Fort Street Mall, Ste. 1800
Business Address
Honolulu, Hawaii 96813
Attn: Richard T. Asato, Esq.

* For Entities: Name of corporation, partnership, Limited Liability Partnership (LLP), or Limited Liability Company (LLC)

**II. CREATION OF THE CONDOMINIUM;
CONDOMINIUM DOCUMENTS**

A condominium is created by recording in the Bureau of Conveyances and/or filing with the Land Court a Declaration of Condominium Property Regime, a Condominium Map (File Plan), and the Bylaws of the Association of Apartment Owners. The Condominium Property Act (Chapter 514A, HRS), the Declaration, Bylaws, and House Rules control the rights and obligations of the apartment owners with respect to the project and the common elements, to each other, and to their respective apartments. The provisions of these documents are intended to be, and in most cases are, enforceable in a court of law.

A. **Declaration of Condominium Property Regime** contains a description of the land, buildings, apartments, common elements, limited common elements, common interests, and other information relating to the condominium project.

The Declaration for this condominium is:

- Proposed
- Recorded -Bureau of Conveyances: Document No _____
Book _____ Page _____
- Filed - Land Court: Document No. 2346072 (Phase II)
2346074 (Phase III)

The Declaration referred to above has been amended by the following instruments [state name of document, date and recording/filing information]:

Sunpoint – Phase II Amendment of Declaration and Condominium Map dated May 19, 1997, recorded in the Office of the Registrar of the State of Hawaii as Document No. 2384375, and Sunpoint – Phase III Amendment of Declaration, dated May 19, 1997, recorded in said Office as Document No. 2384376.

Amendment to Sunpoint – Phase II Cancellation; Restatement of Condominium Property Regime, Condominium Map and Restatement of By-Laws or The Association of Apartment Owners of Sunpoint Phase II dated February 12, 2001, recorded in said Office as Document No. 2682727.

Amendment to Sunpoint – Phase II Cancellation; Restatement of Condominium Property Regime, Condominium Map and Restatement of By-Laws or The Association of Apartment Owners of Sunpoint Phase II dated February 20, 2001, recorded in said Office as Document No. 2684133.

Amendment to Sunpoint – Phase III Cancellation; Restatement of Condominium Property Regime, Condominium Map and Restatement of By-Laws or The Association of Apartment Owners of Sunpoint Phase III dated February 14, 2001, recorded in said Office as Document No. 2683265.

B. **Condominium Map (File Plan)** shows the floor plan, elevation and layout of the condominium project. It also shows the floor plan, location, apartment number, and dimensions of each apartment.

The Condominium Map for this condominium project is:

- Proposed
- Recorded - Bureau of Conveyances Condo Map No. _____
- Filed - Land Court Condo Map No. 586 (Phase II)
638 (Phase III)

The Condominium Map has been amended by the following instruments [state name of document, date and recording/filing information]:

Sunpoint – Phase II Amendment of Declaration and Condominium Map dated May 19, 1997, recorded in said Office as Document No. 2384375.

Amendment to Sunpoint – Phase III Cancellation; Restatement of Condominium Property Regime, Condominium Map and Restatement of By-Laws or The Association of Apartment Owners of Sunpoint Phase III dated February 14, 2001, recorded in said Office as Document No. 2683265.

Amendment to Sunpoint – Phase II Cancellation; Restatement of Condominium Property Regime, Condominium Map and Restatement of By-Laws or The Association of Apartment Owners of Sunpoint Phase II dated February 12, 2001, recorded in said Office as Document No. 2682727.

Amendment to Sunpoint – Phase III Cancellation; Restatement of Condominium Property Regime, Condominium Map and Restatement of By-Laws or The Association of Apartment Owners of Sunpoint Phase III dated February 20, 2001, recorded in said Office as Document No. 2684133.

C. Bylaws of the Association of Apartment Owners govern the operation of the condominium project. They provide for the manner in which the Board of Directors of the Association of Apartment Owners is elected, the powers and duties of the Board, the manner in which meetings will be conducted, whether pets are prohibited or allowed and other matters which affect how the condominium project will be governed.

The Bylaws for this condominium are:

- Proposed
- Recorded -Bureau of Conveyances: Document No. _____
Book _____ Page _____
- Filed - Land Court: Document No. 2346073 (Phase II)
2346075 (Phase III)

The Bylaws referred to above have been amended by the following instruments [state name of document, date and recording/filing information]:

Amendment to Sunpoint – Phase II Cancellation; Restatement of Condominium Property Regime, Condominium Map and Restatement of By-Laws or The Association of Apartment Owners of Sunpoint Phase II dated February 12, 2001, recorded in said Office as Document No. 2682727.

Amendment to Sunpoint – Phase II Cancellation; Restatement of Condominium Property Regime, Condominium Map and Restatement of By-Laws or The Association of Apartment Owners of Sunpoint Phase II dated February 20, 2001, recorded in said Office as Document No. 2684133.

Amendment to Sunpoint – Phase III Cancellation; Restatement of Condominium Property Regime, Condominium Map and Restatement of By-Laws or The Association of Apartment Owners of Sunpoint Phase III dated February 14, 2001, recorded in said Office as Document No. 2683265

D. **House Rules.** The Board of Directors may adopt House Rules to govern the use and operation of the common elements and limited common elements. House Rules may cover matters such as parking regulations, hours of operation for common facilities such as recreation areas, use of lanais and requirement for keeping pets. These rules must be followed by owners, tenants, and guests. They do not need to be recorded or filed to be effective. The initial House Rules are usually adopted by the developer.

The House Rules for this condominium are:

Proposed Adopted Developer does not plan to adopt House Rules

E. **Changes to Condominium Documents**

- Changes to the Declaration, Condominium Map, and Bylaws are effective only if they are duly adopted and recorded and/or filed. Changes to House Rules do not need to be recorded or filed to be effective.

1. **Apartment Owners:** Minimum percentage of common interest which must vote for or give written consent to changes:

	Minimum Set by Law	<u>This Condominium</u>
Declaration (and Condo Map)	75%*	<u>75%</u>
Bylaws	65%	<u>65%</u>
House Rules	---	<u>By a majority of the Board of Directors</u>

* The percentages for individual condominium projects may be more than the minimum set by law for projects with five or fewer apartments.

2. **Developer:**

No rights have been reserved by the developer to change the Declaration, Condominium Map, Bylaws or House Rules.

Developer has reserved the following rights to change the Declaration, Condominium Map, Bylaws or House Rules:

See Exhibit A

III. THE CONDOMINIUM PROJECT

A. Interest to be Conveyed to Buyer:

Fee Simple: Individual apartments and the common elements, which include the underlying land, will be in fee simple.

Leasehold or Sub-leasehold: Individual apartments and the common elements, which include the underlying land will be leasehold.

Leases for individual apartments and the underlying land usually require that at the end of the lease term, the lessee (apartment owner/tenant) deliver to the lessor (fee property owner) possession of the leased premises and all improvements, including improvements paid for by the lessee.

Exhibit _____ contains further explanations regarding the manner in which the renegotiated lease rents will be calculated and a description of the surrender clause provision(s).

Lease Term Expires: _____ Rent Renegotiation Date(s): _____

Lease Rent Payable: Monthly Quarterly
 Semi-Annually Annually

Exhibit _____ contains a schedule of the lease rent for each apartment per: Month Year

For Sub-leaseholds:

Buyer's sublease may be canceled if the master lease between the sublessor and fee owner is:
 Canceled Foreclosed

As long as the buyer is not in default, the buyer may continue to occupy the apartment and/or land on the same terms contained in the sublease even if the master lease is canceled or foreclosed.

Individual Apartments in Fee Simple: Common Interest in the Underlying Land in Leasehold or Subleasehold:

Leases for underlying land usually require that at the end of the lease term, the lessees (apartment owners/tenants) deliver to the lessor (fee property owner) their interest in the land and that they either (1) remove or dispose of the building(s) and other improvements at the lessee's expense; or (2) convey the building(s) and improvements to the lessor, often at a specified price.

Exhibit _____ contains further explanations regarding the manner in which the renegotiated lease rents will be calculated and a description of the surrender clause provision(s).

Lease Term Expires: _____ Rent Renegotiation Date(s): _____

Rent Renegotiation Date(s): _____

Lease Rent Payable: Monthly Quarterly
 Semi-Annually Annually

Exhibit _____ contains a schedule of the lease rent for each apartment per Month Year

Other

IMPORTANT INFORMATION ON LEASEHOLD CONDOMINIUM PROJECTS

The information contained in this report is a summary of the terms of the lease. For more detailed information, you should secure a copy of the lease documents and read them thoroughly.

If you have any legal questions about leasehold property, the lease documents or the terms of the lease and the consequences of becoming a lessee, you should seek the advice of an attorney.

There are currently no statutory provisions for the mandatory conversion of leasehold condominiums and there are no assurances that such measures will be enacted in the future.

In leasehold condominium projects, the buyer of an apartment will acquire the right to occupy and use the apartment for the time stated in the lease agreement. The buyer will not acquire outright or absolute fee simple ownership of the land. The land is owned by the lessor or the leased fee owner. The apartment owner or lessee must make lease rent payments and comply with the terms of the lease or be subject to the lessor's enforcement actions. The lease rent payments are usually fixed at specific amounts for fixed periods of time, and are then subject to renegotiation. Renegotiation may be based on a formula, by arbitration set in the lease agreement, by law or by agreement between the lessor and lessee. The renegotiated lease rents may increase significantly. At the end of the lease, the apartment owners may have to surrender the apartments, the improvements and the land back to the lessor without any compensation (surrender clause).

When leasehold property is sold, title is normally conveyed by means of an assignment of lease, the purpose of which is similar to that of a deed. The legal and practical effect is different because the assignment conveys only the rights and obligations created by the lease, not the property itself.

The developer of this condominium project may have entered into a master ground lease with the fee simple owner of the land in order to develop the project. The developer may have then entered into a sublease or a new lease of the land with the lessee (apartment owner). The developer may lease the improvements to the apartment owner by way of an apartment lease or sublease, or sell the improvements to the apartment owners by way of a condominium conveyance or apartment deed.

B. Underlying Land:

Address: See page 1a Tax Map Key (TMK) : (1) 9-4-115:037 (Phase II)
(1) 9-4-115:039 (Phase III)

Address TMK is expected to change because Not Applicable

Land Area: 113,523 (Phase II)
121,349 (Phase III) [X] square feet acre(s) Zoning: A-1

Fee Owner: The Royal Palm Development Company, LLC
 Name
2416 Polk Street
 Address
San Francisco, California 94109

Lessor: N/A
 Name
 Address

C. **Buildings and Other Improvements:**

1. New Building(s)
 Conversion of Existing Building(s)
 Both New Building(s) and Conversion

2. Number of Buildings: 9 (Phase II) Floors Per Building 1 or 2
9 (Phase III)

Exhibit B contains further explanations.

3. **Principal Construction Material:**

Concrete Hollow Tile Wood
 Other _____

4. **Uses Permitted by Zoning:**

	No. of Apts.	Use Permitted By Zoning		No. of Apts.	Use Permitted By Zoning
<input checked="" type="checkbox"/> Residential	(II) 68 (III) 88	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	<input type="checkbox"/> Ohana	_____	<input type="checkbox"/> Yes <input type="checkbox"/> No
<input type="checkbox"/> Commercial	_____	<input type="checkbox"/> Yes <input type="checkbox"/> No	<input type="checkbox"/> Industrial	_____	<input type="checkbox"/> Yes <input type="checkbox"/> No
<input type="checkbox"/> Mix Res/Comm	_____	<input type="checkbox"/> Yes <input type="checkbox"/> No	<input type="checkbox"/> Agricultural	_____	<input type="checkbox"/> Yes <input type="checkbox"/> No
<input type="checkbox"/> Hotel	_____	<input type="checkbox"/> Yes <input type="checkbox"/> No	<input type="checkbox"/> Recreational	_____	<input type="checkbox"/> Yes <input type="checkbox"/> No
<input type="checkbox"/> Timeshare	_____	<input type="checkbox"/> Yes <input type="checkbox"/> No	<input type="checkbox"/> Other: _____	_____	<input type="checkbox"/> Yes <input type="checkbox"/> No

Is/Are this/these use(s) specifically permitted by the project's Declaration or Bylaws?

Yes No

5. Special Use Restrictions:

The Declaration and Bylaws may contain restrictions on the use and occupancy of the apartments. Restrictions for this condominium project include but are not limited to:

Pets: _____

Number of Occupants: _____

Other: See Exhibit C

There are no special restrictions.

6. Interior (fill in appropriate numbers):

Elevators: 0 Stairways: 64 Trash Chutes: N/A

<u>Apt. Type</u>	<u>Quantity</u>	<u>BR/Bath</u>	<u>Living Area (sf)*</u>	<u>Other Area (sf) (lanai/patio)</u>	<u>(Identify)</u>
<u>Studio</u>	<u>20</u>	<u>0/1</u>	<u>409</u>	<u>42 to 137</u>	_____
<u>1 BR</u>	<u>40</u>	<u>1/1</u>	<u>477</u>	<u>42 to 146</u>	_____
<u>2 BR</u>	<u>96</u>	<u>2/1</u>	<u>708 or 709</u>	<u>55 to 193</u>	_____

Total Number of Apartments: 156

***Net Living Area is the floor area of the apartment measured from the interior surface of the apartment perimeter walls.**

Other documents and maps may give floor area figures which differ from those above because a different method of determining the floor area may have been used.

Boundaries of Each Apartment:

See Exhibit "D"

Permitted Alterations to Apartments:

See Exhibit "D"

Apartments Designated for Owner-Occupants Only:

Fifty percent (50%) of residential apartments must be so designated; developer has a right to substitute similar apartments for those apartments already designated. Developer must provide this information either in a published announcement or advertisement as required by section 514A-102, HRS; or include the information here in this public report and in the announcement (see attachment 11a). Developer has provided the information in a published announcement.

7. Parking Stalls:

Total Parking Stalls: 185

	<u>Regular</u>		<u>Compact</u>		<u>Tandem</u>		<u>TOTAL</u>
	<u>Covered</u>	<u>Open</u>	<u>Covered</u>	<u>Open</u>	<u>Covered</u>	<u>Open</u>	
Assigned (for each unit)	<u>117</u>	<u>43</u>	—	—	—	—	<u>160</u>
Guest	<u>25</u>	—	—	—	—	—	<u>25</u>
Unassigned	—	—	—	—	—	—	—
Extra for Purchase	—	—	—	—	—	—	—
Other: _____	—	—	—	—	—	—	—
Total Covered & Open:	<u>185</u>		<u>0</u>		<u>0</u>		<u>185</u>

Each apartment will have the exclusive use of 1 parking stall.
Buyers are encouraged to find out which stall(s) will be available for their use.

- Commercial parking garage permitted in condominium project.
- Exhibits E, E-1 and E-2 contain additional information on parking stalls for this condominium project.

8. Recreational and Other Common Facilities:

- There are no recreational or common facilities.
- Swimming Pools* Storage Area Recreation Area*
- Laundry Area Tennis Court Trash chute/Enclosure(s)
- Other: _____
*Located outside the Project (see Exhibit A)

9. Compliance With Building Code and Municipal Regulations; Cost to Cure Violations

- There are no violations. Violations will not be cured.
- Violations and cost to cure are listed below: Violations will be cured by _____
(Date)

10. Condition and Expected Useful Life of Structural Components, Mechanical, and Electrical Installations
(For conversions of residential apartments in existence for at least five years):

Not Applicable

11. Conformance to Present Zoning Code

- a. No variances to zoning code have been granted. See Exhibit F
 Variance(s) to zoning code was/were granted as follows:

b. Conforming/Non-Conforming Uses, Structures, Lot

In general, a non-conforming use, structure, or lot is a use, structure, or lot which was lawful at one time but which does not now conform to present zoning requirements.

	<u>Conforming</u>	<u>Non-Conforming</u>	<u>Illegal</u>
Uses	<u>Yes</u>	_____	_____
Structures	<u>Yes</u>	_____	_____
Lot	<u>Yes</u>	_____	_____

If a variance has been granted or if uses, improvements or lot are either non-conforming or illegal, buyer should consult with county zoning authorities as to possible limitations which may apply.

Limitations may include restrictions on extending, enlarging, or continuing the non-conformity, and restrictions on altering and repairing structures. In some cases, a non-conforming structure that is destroyed or damaged cannot be reconstructed.

The buyer may not be able to obtain financing or insurance if the condominium project has a non-conforming or illegal use, structure, or lot.

D. Common Elements, Limited Common Elements, Common Interest:

1. Common Elements: Common Elements are those parts of the condominium project other than the individual apartments. Although the common elements are owned jointly by all apartment owners, those portions of the common elements which are designated as limited common elements (see paragraph 2 below) may be used only by those apartments to which they are assigned. The common elements for this project, as described in the Declaration, are:

described in Exhibit G.

as follows:

2. **Limited Common Elements:** Limited Common Elements are those common elements which are reserved for the exclusive use of the owners of certain apartments.

There are no limited common elements in this project.

The limited common elements and the apartments which use them, as described in the Declaration, are:

described in Exhibit G.

as follows:

3. **Common Interest:** Each apartment will have an undivided fractional interest in all of the common elements. This interest is called the "common interest." It is used to determine each apartment's share of the maintenance fees and other common profits and expenses of the condominium project. It may also be used for other purposes, including voting on matters requiring action by apartment owners. The common interests for the apartments in this project, as described in the Declaration, are:

described in Exhibits E-1 and E-2.

as follows:

E. **Encumbrances Against Title:** An encumbrance is a claim against or a liability on the property or a document affecting the title or use of the property. Encumbrances may have an adverse effect on the property or your purchase and ownership of an apartment in the project.

Exhibit H describes the encumbrances against the title contained in the title report dated January 25, 2001, and issued by Old Republic Title and Escrow of Hawaii, Ltd.

Blanket Liens:

A blanket lien is an encumbrance (such as a mortgage) on the entire condominium project that secures some type of monetary debt (such as a loan) or other obligation. A blanket lien is usually released on an apartment-by-apartment basis upon payment of specified sums so that individual apartments can be conveyed to buyers free and clear of the lien.

There are no blanket liens affecting title to the individual apartments.

There are blanket liens which may affect title to the individual apartments.

Blanket liens (except for improvement district or utility assessments) must be released before the developer conveys the apartment to a buyer. The buyer's interest will be affected if the developer defaults and the lien is foreclosed prior to conveying the apartment to buyer.

Type of Lien

**Effect on Buyer's Interest and Deposit if Developer Defaults
Or Lien is Foreclosed Prior to Conveyance**

See Exhibit H-1

F. Construction Warranties:

Warranties for individual apartments and the common elements, including the beginning and ending dates for each warranty, are as follows:

1. Building and Other Improvements:

See Exhibit I

2. Appliances:

See Exhibit I

Note (as to 1 and 2 above): Except as provided above, Developer disclaims any implied warranty of habitability, any implied warranty of merchantability, any implied warranty of fitness for a particular purpose or use, any implied warranty of workmanship and any other express or implied warranties, with respect to the apartments, the Project, the common elements thereof, or as to any appliances and furnishings contained within the apartments or the Project.

G. **Status of Construction and Date of Completion or Date of Estimated Completion**

Construction of Phases II and III was completed in 1986. However, the Developer has begun limited renovations to each apartment of the Project. The Developer estimates that these renovations shall be completed by February, 2002

H. **Project Phases:**

The developer has has not reserved the right to add to, merge, or phase this condominium.

Summary of Developer's plans or right to perform for future development (such as additions, mergers or phasing):

See Exhibit A

IV. CONDOMINIUM MANAGEMENT

A. **Management of the Common Elements:** The Association of Apartment Owners is responsible for the management of the common elements and the overall operation of the condominium project. The Association may be permitted, and in some cases may be required, to employ or retain a condominium managing agent to assist the Association in managing the condominium project.

Initial Condominium Management Agent: When the developer or the developer's affiliate is the initial condominium managing agent, the management contract must have a term of one year or less and the parties must be able to terminate the contract on notice of 60 days or less.

The initial condominium managing agent for this project, named on page five (5) of this report, is:

not affiliated with the Developer the Developer or the Developer's affiliate.
 self-managed by the Association of Apartment Owners other _____

B. **Estimate of Initial Maintenance Fees:**

The Association will make assessments against your apartment to provide funds for the operation and maintenance of the condominium project. If you are delinquent in paying the assessments, your apartment may be liened and sold through a foreclosure proceeding.

Initial maintenance fees are difficult to estimate and tend to increase as the condominium ages. Maintenance fees may vary depending on the services provided.

Exhibit * contains a schedule of estimated initial maintenance fees and maintenance fee disbursements (subject to change).

*See Exhibit M (for the estimated initial maintenance fees for Phase II) and Exhibit M-1 (for the budgeted maintenance fees for Phase III)

C. **Utility Charges for Apartments:**

Each apartment will be billed separately for utilities except for the following checked utilities which are included in the maintenance fees:

None Electricity (Common Elements Only _____ Common Elements and Apartments)
 Gas* (Common Elements Only _____ Common Elements and Apartments)
 Water Sewer Television Cable
 Other: Refuse Collection

*for Recreational Facilities only

V. MISCELLANEOUS

A. Sales Documents Filed With the Real Estate Commission:

Sales documents on file with the Real Estate Commission include but are not limited to:

- [X] Notice to Owner Occupants
- [X] Specimen Sales Contract
Exhibit J contains a summary of the pertinent provisions of the sales contract.
- [X] Escrow Agreement dated December 1, 2000.
Exhibit K contains a summary of the pertinent provisions of the escrow agreement.
- [X] Other Apartment Deed. Exhibit L contains a summary of the pertinent provisions of the Apartment Deed.

B. Buyer's Right to Cancel Sales Contract:

1. Rights Under the Condominium Property Act (Chapter 514A, HRS):

Preliminary Report: Sales made by the developer are not binding on the prospective buyer. Sales made by the developer may be binding on the developer unless the developer clearly states in the sales contract that sales are not binding. A prospective buyer who cancels the sales contract is entitled to a refund of all moneys paid, less any escrow cancellation fee up to \$250.00.

Supplementary Report to a Preliminary Report:

Final Report or Supplementary Report to a Final Report: Sales made by the developer are binding if:

- A) The Developer delivers to the buyer a copy of:
 - 1) Either the Final Public Report **OR** the Supplementary Public Report which has superseded the Final Public Report for which an effective date has been issued by the Real Estate Commission; **AND**
 - 2) Any other public report issued by the developer prior to the date of delivery, if the report was not previously delivered to the buyer and if the report has not been superseded;
- B) The buyer is given an opportunity to read the report(s); **AND**
- C) One of the following has occurred:
 - 1) The buyer has signed a receipt for the report(s) and waived the right to cancel; or
 - 2) Thirty (30) days have passed from the time the report(s) were delivered to the buyer; or
 - 3) The apartment is conveyed to the buyer within 30 days from the date the report(s) were delivered to the buyer.

Material Change: Binding contracts with the Developer may be rescinded by the buyer if:

- A) There is a material change in the project which directly, substantially, and adversely affects (1) the use or value of the buyer's apartment or its limited common elements; or (2) the amenities available for buyer's use; **AND**
- B) The buyer has not waived the right to rescind.

If the buyer rescinds a binding sales contract because there has been a material change, the buyer is entitled to a full and prompt refund of any moneys the buyer paid.

2. Rights Under the Sales Contract: Before signing the sales contract, prospective buyers should ask to see and carefully review all documents relating to the project. If these documents are not in final form, the buyer should ask to see the most recent draft. These include but are not limited to the:

- A) Condominium Public Reports issued by the developer which have been given an effective date by the Hawaii Real Estate Commission.
- B) Declaration of Condominium Property Regime, as amended.
- C) Bylaws of the Association of Apartment Owners, as amended.
- D) House Rules, if any.
- E) Condominium Map, as amended.
- F) Escrow Agreement.
- G) Hawaii's Condominium Property Act (Chapter 514A, HRS, as amended) and Hawaii Administrative Rules, (Chapter 16-107, adopted by the Real Estate Commission, as amended).
- H) Other: _____

Copies of the condominium and sales documents and amendments made by the developer are available for review through the developer and are on file at the Department of Commerce and Consumer Affairs. Reprints of Hawaii's Condominium Property Act (Chapter 514A, HRS) and Hawaii Administrative Rules, Chapter 16-107, are available at the Cashier's Office, Department of Commerce and Consumer Affairs, 1010 Richards Street, 3rd Floor, Honolulu, Hawaii, mailing address: P.O. Box 541, Honolulu, HI 96809, at a nominal cost.

This Public Report is a part of Registration No. 3653 filed with the Real Estate Commission on November 2, 1996.

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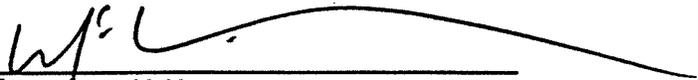
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C. **Additional Information Not Covered Above**

N/A

- D. The developer declares subject to the penalties set forth in section 514A-49(b) that this project is in compliance with all county zoning and building ordinances and codes, and all other county permitting requirements applicable to the project, pursuant to Act 251 (SLH 2000) [Section 514A] (The developer is required to make this declaration for issuance of an effective date for a final public report.)
- E. The developer hereby certifies that all the information contained in this Report and the Exhibits attached to this Report and all documents to be furnished by the developer to buyers concerning the project have been reviewed by the developer and are, to the best of the developer's knowledge, information and belief, true, correct and complete.

THE ROYAL PALM DEVELOPMENT COMPANY,
a Virginia limited liability company

By 

Jonathan McManus

Managing Member

February 12, 2001

Date

Distribution:

Department of Finance, City and County of Honolulu

Planning Department, City and County of Honolulu

Must be signed for a: corporation by an officer; partnership or Limited Liability Partnership (LLP) by the general partner; Limited Liability Company (LLC) by the manager or member; and for an individual by the individual.

EXHIBIT A

DEVELOPER'S RESERVED RIGHTS TO CHANGE CONDOMINIUM DOCUMENTS

Following is a brief summary of certain provisions in the Declaration and By-Laws as indicated, wherein the Developer has reserved the right to change the condominium documents, including the Declaration, By-Laws, Rules and Regulations ("House Rules") and the Condominium Map:

I. DECLARATION.

In paragraph S of the Declaration, the Developer reserves the right, at any time prior to the recordation of apartment deeds conveying to parties not a signatory to the Declaration apartments to which are appurtenant more than twenty-five percent (25%) of the common interests in the Project, to amend Declaration and the By-Laws in any manner as the Developer may deem fit, and specifically, may amend the designation of the parking stalls appurtenant to the apartments.

In paragraph U of the Declaration, the Developer reserves the right for itself and its agents, until such time as all the apartments in the Project are sold, to:

1. To grant any easements for sewer, drainage, water and other utility facilities, and for ingress, egress or roadway purposes, and to quitclaim any easements in favor of the Project which are not required for the Project.
2. To grant to any person or entity easements for parking purposes on said land, without the consent or joinder of any apartment owners or their mortgagees, in the event that any parking located on land which is not part of the Project encroaches onto the Project.
3. If necessary, to amend this Declaration, the Condominium Map and the By-Laws consistent with any grant or reservations of rights by Owner under the Declaration.
4. To conduct sales of apartments at the Project, including, but not limited to, maintaining model apartments, operating a sales office, conducting advertising, placing signs, using parking spaces and erecting lighting in connection with such sales.
5. To amend the Declaration to satisfy a requirement of any governmental agency of the United States or the State of Hawaii, including, but not limited to, the Veterans' Administration or the Federal Housing Administration, for the purpose of obtaining loans secured by apartments in the Project.
6. To grant to the Association the "License" to use the "Recreation Center", in accordance with the provisions of paragraph BB of the Declaration (such terms being defined in said paragraph BB).

In paragraph BB of the Declaration, the Developer reserves the right to grant to the Association a perpetual non-exclusive license to use the recreation center ("Recreation Center") which is located in and is a common element of, the Sunpoint, Increment I condominium project and located on Lot 10792-A, Map 664, Land Court Application No. 1000, TMK No. (1) 9-4-115-036. The Recreation Center consists of a swimming pool and entertainment pavilion (including sink, serving counter, refrigerator and barbeque facilities). The License will give each apartment owner a non-exclusive right to use the Recreation Center on certain terms and conditions, including, but not limited to, the payment of a portion of the maintenance and operation costs of the Recreation Center. The License will be filed in the Land Court as an encumbrance against the Project, and will not require the approval or consent of the Association, any apartment owner or any mortgagee.

In paragraph CC of the Declaration, the Developer reserves the right to select and designate one apartment in the Project, or in any of the increments located in the multiple phase project known as "Sunpoint" (as defined in the Declaration) (now known as The Royal Palm at Waipio), to offer such apartment for sale to the associations of apartment owners of increments of Sunpoint or to the merged association of apartment owners to be used as lodging for a resident manager or such other use or purpose as approved by such associations of apartment owners or the merged association.

In paragraph DD of the Declaration, the Developer reserves the right to merge Phase II and/or Phase III and one or more of the other increments in Sunpoint ("Increments") as if they were each part of a single condominium project, within twenty (20) years from the date the Declaration is recorded. Phase II, Phase III and the Increments consist of a total of three hundred seventy-six (376) apartment units that were developed as five (5) separate and distinct condominium projects. Upon merger, the management, control, administration and use of the projects which are merged, shall be unified under one association of apartment owners, and each of the projects will bear a fraction of the total common expenses (as defined in their respective declarations of condominium property regime) of the Merged Project (as defined in paragraph DD), treating all of the projects as one project for this purpose. For each project, the numerator will be the total net living area of all apartments therein (as set forth in said declarations) and the denominator will be the total net living area of all apartments in the Merged Project. Each apartment's share of the common expenses of the Merged Project will be equal to the common interest appurtenant to said apartment (as set forth in said declarations), multiplied by the share of common expenses allocated to the project in which the apartment is located. The association of apartment owners of each project shall be merged into a single association governing the Merged Project, and each of the merged projects will have the same share of the total votes of the Merged Project in the same proportions set forth above for the sharing of common expenses. Merger shall only affect the administration and use of the merged projects and the sharing of common expenses, and shall not affect the ownership of apartments and their appurtenant common interests in each project. However, if required so that the interest in reserve funds attributable to each apartment in the Merged Project shall be equal to such apartment's share of the common expenses and vote in the Merged Project, the board of directors of the Merged Project may make adjustments to the each apartment owner's account. In addition, the Developer shall have the right, but not the obligation, to require apartment owners in all or any of the projects being merged to make contributions in addition to their share of common

expenses, to the reserves, operating account and/or other accounts. The Developer also reserves the right not to merge Phase II or Phase III with any or all of the Increments.

II. BY-LAWS.

In Article II, Section 2 of the By-Laws, the Developer reserves the right to exercise the powers, vote and/or act for the Association and the Board on all matters until the first apartment in the Project is conveyed to a buyer (except as to those rights reserved to the Developer in paragraph U of the Declaration, which rights are reserved until all of the activities described therein have been completed).

THIS EXHIBIT CONTAINS ONLY A BRIEF SUMMARY OF THE PROVISIONS CONTAINED IN THE DECLARATION AND THE BY-LAWS RESPECTING THE DEVELOPER'S RESERVED RIGHTS. PROSPECTIVE OWNERS SHOULD READ AND UNDERSTAND ALL OF THE PROVISIONS RELATING TO THE DEVELOPER'S RESERVED RIGHTS CONTAINED IN THE AFORESAID DOCUMENTS.

EXHIBIT B
DESCRIPTION OF BUILDINGS

Phase II consists of nine (9) buildings, designated as buildings 8, 9, 10, 11, 12, 13 14, 15 and 16. Construction of the buildings is primarily wood frame on concrete slab foundations with interior walls constructed of wood studding and gypsum board, exterior walls covered with siding, and roofs constructed of wood and wood shakes. Buildings 8 and 12 are one story and contain four (4) apartments each. Buildings 9, 10, 11, 14, 15 and 16 are two stories and contain eight (8) apartments each. Building 13 is two stories and contains twelve (12) apartments. None of the buildings has a basement. Phase II contains a total of sixty-eight (68) residential apartments.

Phase III consists of nine (9) buildings, designated as buildings 22, 23, 24, 25, 26, 27, 28, 29 and 30. Construction of the buildings is primarily wood frame on concrete slab foundations with interior walls constructed of wood studding and gypsum board, exterior walls covered with siding, and roofs constructed of wood and wood shakes. All of the buildings have two stories. Buildings 22, 23, 25, 28 and 30 each contain eight (8) apartments, and buildings 24, 26, 27 and 29 each contain twelve (12) apartments. None of the buildings has a basement. Phase III contains a total of eighty-eight (88) residential apartments.

EXHIBIT C

USE RESTRICTIONS FOR APARTMENTS AND COMMON ELEMENTS

The following provisions in the Declaration, By-Laws and House Rules, as indicated, contain restrictions on the use of the apartments and the common elements of the Project:

I. DECLARATION.

Pursuant to paragraph J of the Declaration, each apartment shall be occupied and used only as private dwellings by the respective owners thereof, their tenants, families, domestic servants and social guests, and may be utilized for long-term and short-term rentals. No apartment shall be used as a tenement or rooming house or for or in connection with the carrying on of any business, trade or profession whatsoever. The respective apartments shall not be rented by the apartment owners thereof for transient or hotel purposes, as defined in the Declaration. Neither the apartments nor any interest therein shall be sold, transferred, conveyed, leased, occupied, rented or used for or in connection with any time-sharing purpose or under any time-sharing plan, arrangement or program, including without limitation any so-called "vacation license", "travel club membership" or "time-interval ownership" arrangement. Other than the foregoing restrictions, the owners of the apartments shall have the absolute right to lease the same, provided that such lease covers an entire apartment, is in writing and is made subject to the covenants and restrictions contained in the Declaration and in the By-Laws.

II. BY-LAWS.

Article VIII, Section 6 of the By-Laws lists a variety of restrictions affecting the use of the apartments and common elements, including, without limitation, restrictions as to the posting of advertisements, posters or other signs on or about the Project; noise; disposal of garbage; uses which may cause an increase in the ordinary premium rates or cancellation or invalidation of any insurance maintained by or for the Board; noxious or offensive activities; the storage of furniture, packages or other objects which could obstruct transit through the common elements; the alteration or removal of any furniture belonging to the Association; the construction or placement in the Project of any building or structure; the alteration of any common elements of the Project; installation or maintenance of any television or other antennas in the Project visible from any point outside of the Project; and the keeping of pets.

III. HOUSE RULES.

Section A of the House Rules lists restrictions affecting the apartments, including, without limitation, restrictions as to the exterior appearance of the apartments (i.e., prohibitions against attaching or hanging awnings, venetian blinds, window guards, radio or television antenna, planters, garments and other objects to the exterior of the apartments); noise; the keeping of pets; disposal of rubbish; the keeping of explosives or other flammable, noxious materials; and the conduct of guests.

Section B of the House Rules lists restrictions affecting the common and limited common elements of the Project, including, without limitation, restrictions as to soliciting for sales of

goods and services; the storage of surfboards and bicycles; the alteration or removal of the furniture made available in the common areas; obstructing access in the Project; litter; the conduct of children; and removal, picking or transplanting of any of the Project landscaping.

Section C of the House Rules lists general restrictions affecting the Project, including, without limitation, restrictions as to creating any hazards in the Project; waterbeds; hazardous materials; fireworks; and renting of the apartments.

Section D of the House Rules lists restrictions affecting vehicles in the Project, including, without limitation, restrictions as to the washing, cleaning or polishing of cars and motorcycles; storage of personal items in the parking stalls; movement of vehicles while in the Project; parking which may impede or prevent ready access to any entrance or to any exit from the Project by another vehicle; and repairing automobiles or motorcycles in the Project.

THIS EXHIBIT CONTAINS ONLY A BRIEF SUMMARY OF CERTAIN USE PROVISIONS STATED IN THE DECLARATION, BY-LAWS AND HOUSE RULES. PROSPECTIVE OWNERS SHOULD READ AND UNDERSTAND ALL OF THE USE RELATED PROVISIONS CONTAINED IN THE AFORESAID DOCUMENTS.

EXHIBIT D

BOUNDARIES AND PERMITTED ALTERATIONS TO APARTMENTS

Each apartment is bounded by its perimeter and party walls, windows, doors, floors and ceilings.

The Declaration and By-Laws permit alterations to the apartments as follows:

I. DECLARATION.

Paragraph Q of the Declaration provides that except as otherwise provided in the Declaration, rebuilding, restoration or replacement of the Project, or construction of any additional building or structural alteration or addition to any building different in any material respect from the Condominium Map of the Project, shall be undertaken by the Association or any apartment owner only pursuant to an amendment of the Declaration and the provisions of said Paragraph Q. Promptly upon completion of such restoration, replacement or construction, the Association shall duly record or file such amendment together with a complete set of floor plans of the Project as so altered, certified as built by a registered architect or professional engineer.

Any alterations or additions within an apartment or within a limited common element appurtenant to and for the exclusive use of an apartment which do not alter the characteristics of such apartment or limited common element, shall require the written consent and approval of the apartment owner's plans therefor only by the holders of all liens affecting such apartment (if the lien holders require such consent and approval) and the Board, and such alterations or additions may be undertaken without an amendment to the Declaration or the filing of a complete set of floor plans of the Project so altered.

II. BY-LAWS.

Article VIII, Section 3(A) of the By-Laws provides that additions, alterations, repairs or improvements to the common or limited common elements of the Project may be made only by or at the direction of the Board, except as provided for in the Declaration.

THIS EXHIBIT CONTAINS EXCERPTS OF THE PROVISIONS CONTAINED IN THE DECLARATION AND THE BY-LAWS RESPECTING PERMITTED ALTERATIONS TO THE APARTMENTS. PROSPECTIVE OWNERS SHOULD READ AND UNDERSTAND ALL OF THE PROVISIONS RELATING TO PERMITTED ALTERATIONS CONTAINED IN THE AFORESAID DOCUMENTS.

EXHIBIT E
PARKING

In Phase II, there are seventy-seven (77) parking stalls. Each of the sixty-eight apartments in Phase II has at least one (1) parking stall assigned to it as a limited common element designated in Exhibit "B" to the Phase II Declaration, attached hereto as Exhibit E-1 and incorporated herein by reference. There are five (5) guest parking stalls.

In Phase III, there are one hundred eight (108) parking stalls. Each of the eighty-eight apartments in Phase III has one (1) parking stall assigned to it as a limited common element designated in Exhibit "B" to the Phase III Declaration, attached hereto as Exhibit E-2 and incorporated herein by reference. There are twenty (20) guest parking stalls.

The Condominium Property Act (Chapter 514A, Hawaii Revised Statutes) provides that owners shall have the right to change the designation of parking stalls which are appurtenant to their respective apartments by amendment of the Declaration and the respective apartment deeds or condominium conveyance documents involved, which said amendment need only be signed and approved by the owners of the apartments whose parking stalls are being changed, their respective mortgagees, if any, and the condominium conveyance document lessor, if applicable.

The House Rules contain specific provisions concerning vehicles and parking, which owners should thoroughly understand. The provisions cover restrictions relating to, without limitation, vehicle registration by residents with the Board of Directors or Managing Agent, washing of vehicles, storage of personal items in parking stalls, and avoidance of access problems caused by vehicles. The House Rules also address particular problems such as tow-away for unauthorized parking and operation of vehicles while in the Project. Nuisances created by repairs, maintenance, noise and improper or unsafe vehicle operating conditions are prohibited. Owners will be held responsible for violations of parking rules by their lessees, renters or guests.

**EXHIBIT E-1
(Phase II)**

Building 8:

Apt. No.	Type	Net Living Area (s.f.)	Lanai (s.f.)	Parking Stall(s)	Percentage Common Interest
8A	2BR	709	118	107*, 108*	1.57%
8B	2BR	708	145	50*, 51	1.57%
8C	2BR	708	145	106*	1.57%
8D	2BR	709	118	109*	1.57%

Building 9:

Apt. No.	Type	Net Living Area (s.f.)	Lanai (s.f.)	Parking Stall(s)	Percentage Common Interest
9A	2BR	709	193	52	1.57%
9B	2BR	708	149	54	1.57%
9C	2BR	709	193	58	1.57%
9D	2BR	708	149	56	1.57%
9R	2BR	709	55	53	1.57%
9S	2BR	708	80	55*	1.57%
9T	2BR	709	55	59	1.57%
9U	2BR	708	80	57	1.57%

Building 10:

Apt. No.	Type	Net Living Area (s.f.)	Lanai (s.f.)	Parking Stall(s)	Percentage Common Interest
10A	2BR	709	193	62	1.57%
10B	2BR	708	149	66	1.57%
10C	2BR	709	193	64*	1.57%
10D	2BR	708	149	60	1.57%
10R	2BR	709	55	63	1.57%
10S	2BR	708	80	67	1.57%
10T	2BR	709	55	65	1.57%
10U	2BR	708	80	61	1.57%

Building 11:

Apt. No.	Type	Net Living Area (s.f.)	Lanai (s.f.)	Parking Stall(s)	Percentage Common Interest
11A	2BR	709	193	68*	1.57%
11B	2BR	708	149	70	1.57%
11C	2BR	709	193	75*	1.57%
11D	2BR	708	149	77	1.57%
11R	2BR	709	55	69	1.57%
11S	2BR	708	80	71	1.57%
11T	2BR	709	55	74	1.57%
11U	2BR	708	80	57	1.57%

Building 12:

Apt. No.	Type	Net Living Area (s.f.)	Lanai (s.f.)	Parking Stall(s)	Percentage Common Interest
12A	2BR	709	118	364, 365	1.57%
12B	2BR	708	145	362*, 363	1.57%
12C	2BR	708	145	72	1.57%
12D	2BR	709	118	73	1.57%

Building 13:

Apt. No.	Type	Net Living Area (s.f.)	Lanai (s.f.)	Parking Stall(s)	Percentage Common Interest
13A	1BR	477	137	350*	1.06%
13B	studio	409	137	354	.90%
13C	1BR	477	146	356	1.06%
13D	1BR	477	137	358	1.06%
13E	studio	409	137	360	.90%
13F	1BR	477	146	352	1.06%
13R	1BR	477	42	351	1.06%
13S	studio	409	42	355	.90%
13T	1BR	477	42	357*	1.06%
13U	1BR	477	42	359	1.06%
13V	studio	409	42	361	.90%
13W	1BR	477	42	353	1.06%

Building 14:

Apt. No.	Type	Net Living Area (s.f.)	Lanai (s.f.)	Parking Stall(s)	Percentage Common Interest
14A	2BR	709	193	85	1.57%
14B	2BR	708	149	87	1.57%
14C	2BR	709	193	83*	1.57%
14D	2BR	708	149	81	1.57%
14R	2BR	709	55	84	1.57%
14S	2BR	708	80	86	1.57%
14T	2BR	709	55	82	1.57%
14U	2BR	708	80	80	1.57%

Building 15:

Apt. No.	Type	Net Living Area (s.f.)	Lanai (s.f.)	Parking Stall(s)	Percentage Common Interest
15A	2BR	709	193	95	1.57%
15B	2BR	708	149	91	1.57%
15C	2BR	709	193	89	1.57%
15D	2BR	708	149	93*	1.57%
15R	2BR	709	55	94	1.57%
15S	2BR	708	80	80	1.57%
15T	2BR	709	55	88*	1.57%
15U	2BR	708	80	92	1.57%

Building 16:

Apt. No.	Type	Net Living Area (s.f.)	Lanai (s.f.)	Parking Stall(s)	Percentage Common Interest
16A	2BR	709	193	105	1.57%
16B	2BR	708	149	101*	1.57%
16C	2BR	709	193	99	1.57%
16D	2BR	708	149	103	1.57%
16R	2BR	709	55	104	1.57%
16S	2BR	708	80	100	1.57%
16T	2BR	709	55	98	1.57%
16U	2BR	708	80	102	1.57%

GUEST STALLS: 78, 79, 96, 97 & 366

NOTES: All stalls are standard size stalls. Those stalls designated with an asterisk (*) above are uncovered.

**EXHIBIT E-2
(Phase III)**

Building 22:

Apt. No.	Type	Net Living Area (s.f.)	Lanai (s.f.)	Parking Stall(s)	Percentage Common Interest
22A	2BR	709	193	171*	1.41%
22B	2BR	708	149	172*	1.41%
22C	2BR	709	193	176*	1.41%
22D	2BR	708	149	175*	1.41%
22R	2BR	709	55	173*	1.41%
22S	2BR	708	80	174*	1.41%
22T	2BR	709	55	178	1.41%
22U	2BR	708	80	177*	1.41%

Building 23:

Apt. No.	Type	Net Living Area (s.f.)	Lanai (s.f.)	Parking Stall(s)	Percentage Common Interest
23A	2BR	709	193	179	1.41%
23B	2BR	708	149	180	1.41%
23C	2BR	709	193	185	1.41%
23D	2BR	708	149	183	1.41%
23R	2BR	709	55	181*	1.41%
23S	2BR	708	80	182*	1.41%
23T	2BR	709	55	186*	1.41%
23U	2BR	708	80	184	1.41%

Building 24:

Apt. No.	Type	Net Living Area (s.f.)	Lanai (s.f.)	Parking Stall(s)	Percentage Common Interest
24A	1BR	477	137	187*	.953%
24B	studio	409	137	190	.819%
24C	1BR	477	146	195	.953%
24D	1BR	477	137	199	.953%
24E	studio	409	137	197	.819%
24F	1BR	477	146	193*	.953%
24R	1BR	477	42	191	.953%
24S	studio	409	42	192	.819%
24T	1BR	477	42	196*	.953%
24U	1BR	477	42	200	.953%
24V	studio	409	42	198	.819%
24W	1BR	477	42	194	.953%

Building 25:

Apt. No.	Type	Net Living Area (s.f.)	Lanai (s.f.)	Parking Stall(s)	Percentage Common Interest
25A	2BR	709	193	202	1.41%
25B	2BR	708	149	207	1.41%
25C	2BR	709	193	205	1.41%
25D	2BR	708	149	201	1.41%
25R	2BR	709	55	204*	1.41%
25S	2BR	708	80	208	1.41%
25T	2BR	709	55	206	1.41%
25U	2BR	708	80	203	1.41%

Building 26:

Apt. No.	Type	Net Living Area (s.f.)	Lanai (s.f.)	Parking Stall(s)	Percentage Common Interest
26A	1BR	477	137	212*	.953%
26B	studio	409	137	214	.819%
26C	1BR	477	146	218	.953%
26D	1BR	477	137	346	.953%
26E	studio	409	137	348	.819%
26F	1BR	477	146	216	.953%
26R	1BR	477	42	213	.953%
26S	studio	409	42	215*	.819%
26T	1BR	477	42	219	.953%
26U	1BR	477	42	347	.953%
26V	studio	409	42	349	.819%
26W	1BR	477	42	217	.953%

Building 27:

Apt. No.	Type	Net Living Area (s.f.)	Lanai (s.f.)	Parking Stall(s)	Percentage Common Interest
27A	1BR	477	137	335	.953%
27B	studio	409	137	337	.819%
27C	1BR	477	146	339	.953%
27D	1BR	477	137	341*	.953%
27E	studio	409	137	225	.819%
27F	1BR	477	146	227	.953%
27R	1BR	477	42	336	.953%
27S	studio	409	42	338*	.819%
27T	1BR	477	42	340	.953%
27U	1BR	477	42	342	.953%
27V	studio	409	42	224*	.819%
27W	1BR	477	42	226	.953%

Building 28:

Apt. No.	Type	Net Living Area (s.f.)	Lanai (s.f.)	Parking Stall(s)	Percentage Common Interest
28A	2BR	709	193	235	1.41%
28B	2BR	708	149	234*	1.41%
28C	2BR	709	193	229	1.41%
28D	2BR	708	149	231*	1.41%
28R	2BR	709	55	233	1.41%
28S	2BR	708	80	232	1.41%
28T	2BR	709	55	228	1.41%
28U	2BR	708	80	230	1.41%

Building 29:

Apt. No.	Type	Net Living Area (s.f.)	Lanai (s.f.)	Parking Stall(s)	Percentage Common Interest
29A	1BR	477	137	250*	.953%
29B	studio	409	137	244	.819%
29C	1BR	477	146	243	.953%
29D	1BR	477	137	242*	.953%
29E	studio	409	137	248	.819%
29F	1BR	477	146	249	.953%
29R	1BR	477	42	247	.953%
29S	studio	409	42	241	.819%
29T	1BR	477	42	237	.953%
29U	1BR	477	42	236	.953%
29V	studio	409	42	245	.819%
29W	1BR	477	42	246	.953%

Building 30:

Apt. No.	Type	Net Living Area (s.f.)	Lanai (s.f.)	Parking Stall(s)	Percentage Common Interest
30A	2BR	709	193	258	1.41%
30B	2BR	708	149	257*	1.41%
30C	2BR	709	193	253	1.41%
30D	2BR	708	149	254*	1.41%
30R	2BR	709	55	256*	1.41%
30S	2BR	708	80	255*	1.41%
30T	2BR	709	55	251	1.41%
30U	2BR	708	80	252	1.41%

GUEST STALLS: 188, 189, 209-211, 220-223, 238-240, 259-263, & 343-345

NOTES: All stalls are standard size stalls. Those stalls designated with an asterisk (*) above are uncovered.

EXHIBIT F

CONFORMANCE TO PRESENT ZONING CODE

According to a letter dated August 2, 1996, from the Building Department of the City and County of Honolulu, the buildings in Phases II and III met all applicable code requirements at the time of their construction in 1986. Special Permit No. 85/SP-82 for joint development was approved on December 18, 1985. No variances or other special permits were granted to allow deviations from any applicable codes. The Developer cannot determine whether Phases II or III contain any other legal nonconforming uses or structures as a result of the adoption or amendment of any ordinances or codes.

EXHIBIT G
DESCRIPTION OF COMMON
ELEMENTS AND LIMITED COMMON ELEMENTS

I. COMMON ELEMENTS.

Paragraph E of each Declaration describes the common elements as all portions of the land and improvements (other than the apartments), including the land on which the building is located and all common elements mentioned in the Act which are actually constructed on said land. Said common elements include, but are not limited to the following:

1. The land described in Exhibit "A" to the Declaration.
2. All foundations, columns, girders, beams, floor slabs, supports, unfinished perimeter and load-bearing walls (except for the inner decorated surfaces within each apartment), roofs, corridors, stairways and walkways of each building.
3. All yards, grounds, planters, landscaping, gardens, planting areas, refuse and like facilities.
4. All driveways, loading areas, parking area entryways and exitways, and as to Phase II, the seventy-seven (77) parking stalls designated on the Condominium Map, including five (5) guest stalls, and as to Phase III, the one hundred eight (108) parking stalls designated on the Condominium Map, including twenty (20) guest stalls.
5. All central and appurtenant installations for services such as power, lights, telephone, gas, hot and cold water lines, television, sewage disposal and other utilities (including all pipes, ducts, wires, cables and conduits used in connection therewith, whether located in common areas or in apartments), and all boilers, tanks, pumps, motors, fans, ducts, compressors, vents and other apparatus and installations existing for, or in each building for common use.
6. All balconies, lanais, corridors and stairways situate within the Project and not within any apartment.
7. Any and all other apparatus and installations of common use and all other parts of the Project necessary or convenient to its existence, maintenance and safety, and normally in common use and which are not part of any apartment.

II. LIMITED COMMON ELEMENTS.

Paragraph F of each Declaration describes the limited common elements as certain parts of the common elements which are set aside and reserved for the exclusive use of certain apartments, which apartments shall have appurtenant thereto exclusive easements for the use of such limited common elements. The limited common elements so set aside for each apartment are as follows:

1. The parking stall(s) designated for each of the apartments in Exhibit "B" attached to each Declaration.

2. One (1) mailbox which mailbox bears the same number as the number of the apartment.

3. Each ground floor apartment has the lanai and any fenced yard area which adjoins it, as shown on the Condominium Map and indicated on Exhibit "B", and the fence which surrounds the fenced yard area is also be a limited common element appurtenant to such apartment.

4. Each second floor apartment has the lanai immediately adjacent to such apartment, as shown on the Condominium Map and indicated on Exhibit "B".

5. Those portions of the concrete walkways and pads which are adjacent to and provide immediate access to the various apartments are limited common elements respectively appurtenant to the apartments to which they are adjacent and for which they provide access.

6. The exterior stairways and railings which serve the various second story apartments are limited common elements respectively appurtenant to and for the exclusive use of the apartments which they serve.

EXHIBIT H
ENCUMBRANCES AGAINST TITLE

PHASE II:

1. For real property taxes due and owing, reference is made to the Tax Assessor, City and County of Honolulu.
2. Reservation in favor of the State of Hawaii of all mineral and metallic mines.
3. Annexation instrument dated February 8, 1995, filed as Land Court Document No. 1282262, annexing the within premises to Gentry-Waipio and subjecting the Project to that certain Gentry-Waipio Community Area Declaration of Covenants, Conditions and Restrictions dated November 17, 1978, filed as Land Court Document No. 909239, as amended by that certain instrument dated November 17, 1980, filed as Land Court Document No. 1042252.
4. The terms and provisions, including the failure to comply with any covenants, conditions and reservations, contained in the Unilateral Agreement and Declaration for Conditional Zoning dated February 12, 1982, filed as Land Court Document No. 1105595.
5. Easement 4274 for drainage purposes as set forth by Land Court Order No. 73345, filed March 21, 1985.
6. Easement 4513 for access and utility purposes, Easement 4515 for drainage purposes, and Easement 4516 for sewer purposes, as set forth by Land Court Order No. 75725, filed October 21, 1985.
7. The terms and provisions, including the failure to comply with any covenants, conditions and reservations, contained in the Agreement for Issuance of Special Use Permit Under Section 21-2.71, Revised Ordinances of Honolulu, 1978, dated December 18, 1985, filed as Land Court Document No. 1341011.
8. Declaration Providing for Merger of Increments in a Condominium Project and Irrevocable Power of Attorney dated March 20, 1986, filed as Land Court Document No. 1360161, to which reference is hereby made, but deleting any covenants, conditions or restrictions indicating a preference, limitation or discrimination based on race, color, religion, sex, handicap, familial status, or national origin to the extent such covenants, conditions or restrictions violate 42 USC 3064(c).
9. Grant dated December 16, 1986, giving to the City and County of Honolulu an easement over said Easement 4515, filed as Land Court Document No. 1514740.
10. Grant dated December 16, 1986, giving to the City and County of Honolulu an easement over said Easement 4516, filed as Land Court Document No. 1514781.
11. The covenants, conditions, restrictions, reservations, agreements, obligations, provisions, easements and by laws set forth in that certain Sunpoint-Phase II Cancellation; and

Restatement of Declaration of Horizontal Property Regime dated November 1, 1996, filed as Land Court Document No. 2346072, but omitting any covenants or restrictions if any, based upon race, color, religion, sex, handicap, familial status, or national origin unless and only to the extent that said covenant (a) is exempt under Chapter 42, Section 3607 of the United States Code or (b) relates to handicap but does not discriminate against handicapped person.

Said Declaration was amended by that certain instrument dated May 19, 1997, filed as Land Court Document No. 2384375.

12. Condominium Map No. 586, filed in said Land Court.

13. Restatement of By-Laws of the Association of Apartment Owners of Sunpoint, Increment II dated November 1, 1996, filed as Land Court Document No. 2346073.

14. Recreation Area License Agreement dated October 6, 1998, filed as Land Court Document No. 2495879.

15. Grant dated June 15, 1999, giving to Hawaiian Electric Company, Inc., a Hawaii corporation and GTE Hawaiian Telephone Company, Incorporated, a Hawaii corporation, an easement for utility purposes, filed as Land Court Document No. 2575820.

16. Terms, provisions and conditions as contained in that certain Apartment Deed dated August 29, 2000, filed as Land Court Document No. 2648148, and the effect of any failure to comply with such terms, provisions and conditions.

17. Mortgage dated August 31, 2000, made by The Royal Palm Development Company, LLC, a Virginia limited liability company, as Mortgagor, in favor of Gentry-Alaneo, a Hawaii limited partnership, as Mortgagee, filed as Land Court Document No. 2618151.

The Mortgagee's interest under said mortgage was assigned to Gentry-Pacific, Limited, a Hawaii corporation, by that certain instrument dated September 29, 2000, but effective as of August 31, 2000, filed as Land Court Document No. 2656346.

18. Assignment of Rents and Agreement Not to Sell or Encumber Real Property. By and between The Royal Palm Development Company, LLC, a Virginia limited liability company, as Assignor, and Gentry-Alaneo, a limited partnership, as Assignee, dated August 31, 2000, recorded at the Bureau of Conveyances of the State of Hawaii as Document No. 2000-121815.

The Assignee's interest under said Assignment of Rents was assigned to Gentry-Pacific, Limited, a Hawaii corporation, by that certain instrument dated September 29, 2000, but effective as of August 31, 2000, filed as Land Court Document No. 2000-141731.

19. Mortgage dated August 31, 2000, made by the Royal Palm Development Company, LLC, a Virginia limited liability company, as Mortgagor, and Gentry-Alaneo, a Hawaii limited partnership, as Mortgagee, filed as Land Court Document No. 2648152.

20. Financing Statement made by and between the Royal Palm Development Company, LLC, as Debtor, and Gentry-Alaneo, as Secured Party, dated August 31, 2000, filed at the Bureau of Conveyances of the State of Hawaii as Document No. 2000-121816.

21. Assignment of Development Rights dated December 1, 2000, made by Gentry-Alaneo, a Hawaii limited partnership, as Assignor, and The Royal Palm Development Company, LLC, a Virginia limited liability company, as Assignee, filed on December 27, 2000, as Land Court Document No. 2673509.

22. Mortgage dated January 3, 2000, made by The Royal Palm Development Company, LLC, as Mortgagor, and Don Anderson and Associates, Ltd., as Mortgagee, filed on January 12, 2001, as Land Court Document No. 2676911.

23. Any and all easements encumbering the apartments of the Project and/or the common interest appurtenant thereto, as created by or mentioned in said Declaration of Condominium Property Regime, as said Declaration may be amended from time to time in accordance with the law, and/or in the Apartment Deed and/or as delineated on said Condominium Map.

24. Any rights of parties in possession of a portion of, or all of, the property herein, described, which rights are not disclosed by public records.

(NOTE: ENCUMBRANCES 17 THROUGH 20, INCLUSIVE, AND 22 WILL BE REMOVED AT THE CLOSING OF THE SALE OF EACH APARTMENT.)

PHASE III:

1. For real property taxes due and owing, reference is made to the Tax Assessor, City and County of Honolulu.

2. Reservation in favor of the State of Hawaii of all mineral and metallic mines.

3. Annexation instrument dated February 8, 1995, filed as Land Court Document No. 1282262, annexing the within premises to Gentry-Waipio and subjecting the Project to that certain Gentry-Waipio Community Area Declaration of Covenants, Conditions and Restrictions dated November 17, 1978, filed as Land Court Document No. 909239, as amended by that certain instrument dated November 17, 1980, filed as Land Court Document No. 1042252.

4. The terms and provisions, including the failure to comply with any covenants, conditions and reservations, contained in the Unilateral Agreement and Declaration for Conditional Zoning dated February 12, 1982, filed as Land Court Document No. 1105595.

5. Easement 4513 for access and utility purposes, Easement 4514 for access and utility purposes, Easement 4516 for sewer purposes, as set forth by Land Court Order No. 75725, filed October 21, 1985.

6. The terms and provisions, including the failure to comply with any covenants, conditions and reservations, contained in the Agreement for Issuance of Special Use Permit

Under Section 21-2.71, Revised Ordinances of Honolulu, 1978, dated December 18, 1985, filed as Land Court Document No. 1341011.

7. Declaration Providing for Merger of Increments in a Condominium Project and Irrevocable Power of Attorney dated March 20, 1986, filed as Land Court Document No. 1360161, to which reference is hereby made, but deleting any covenants, conditions or restrictions indicating a preference, limitation or discrimination based on race, color, religion, sex, handicap, familial status, or national origin to the extent such covenants, conditions or restrictions violate 42 USC 3064(c).

8. The covenants, conditions, restrictions, reservations, agreements, obligations, provisions, easements and bylaws as contained in that certain Sunpoint-Phase III Cancellation; and Restatement of Declaration of Condominium Property Regime dated November 1, 1996, filed as Land Court Document No. 2346074.

Said Declaration was amended by that certain instrument dated May 19, 1997, filed as Land Court Document No. 2384376.

9. Condominium Map No. 638, filed in said Land Court.

10. Restatement of By-Laws of the Association of Apartment Owners of Sunpoint – Increment III dated November 1, 1996, filed as Land Court Document No. 2346075.

11. Grant dated December 16, 1986, giving to the City and County of Honolulu an easement over said Easement 4516, filed as Land Court Document No. 1514781.

12. Declaration of Parking Encroachments and Easements dated November 1, 1996, filed as Land Court Document No. 2346071.

13. Recreation Area License Agreement dated October 6, 1998, filed as Land Court Document No. 2495879.

14. Grant dated June 15, 1999, giving to Hawaiian Electric Company, Inc., a Hawaii corporation and GTE Hawaiian Telephone Company, Incorporated, a Hawaii corporation, an easement for utility purposes, filed as Land Court Document No. 2575820.

15. Terms, provisions and conditions as contained in that certain Apartment Deed dated August 29, 2000, filed as Land Court Document No. 2648148, and the effect of any failure to comply with such terms, provisions and conditions.

16. Mortgage dated August 31, 2000, made by the Royal Palm Development Company, LLC, a Virginia limited liability company, as Mortgagor, in favor of Gentry-Alaneo, a Hawaii limited partnership, as Mortgagee, filed as Land Court Document No. 2618151.

The Mortgagee's interest under said Mortgage was assigned to Gentry-Pacific, Ltd., a Hawaii corporation, by that certain instrument dated September 29, 2000, but effective as of the August 31, 2000, filed as Land Court Document No. 2656346.

17. Assignment of Rents and Agreement Not to Sell or Encumber Real Property by and between the Royal Palm Development Company, LLC, a Virginia limited liability company, as Assignor, and Gentry-Alaneo, a Hawaii limited partnership, as Assignee, dated August 31, 2000, filed as Land Court Document No. 2000-121815.

The Assignee's interest under said Assignment of Rents was assigned to Gentry-Pacific, Ltd., a Hawaii corporation, by that certain instrument dated September 29, 2000, but effective as of August 31, 2000, filed as Land Court Document No. 2000-141731.

18. Mortgage dated August 31, 2000, made by the Royal Palm Development Company, LLC, a Virginia limited liability company, as Mortgagor, and Gentry-Alaneo, a Hawaii limited partnership, as Mortgagee, filed as Land Court Document No. 2648152.

19. Financing Statement made by and between the Royal Palm Development Company, LLC, as Debtor, and Gentry-Alaneo, as Secured Party, dated August 31, 2000, filed at the Bureau of Conveyances of the State of Hawaii as Document No. 2000-121816.

20. Assignment of Development Rights dated December 1, 2000, made by Gentry-Alaneo, a Hawaii limited partnership, as Assignor, and The Royal Palm Development Company, LLC, a Virginia limited liability company, as Assignee, filed on December 27, 2000, as Land Court Document No. 2673509.

21. Mortgage dated January 3, 2000, made by The Royal Palm Development Company, LLC, as Mortgagor, and Don Anderson and Associates, Ltd., as Mortgagee, filed on January 12, 2001, as Land Court Document No. 2676911.

22. Any and all easements encumbering the apartments of the Project and/or the common interest appurtenant thereto, as created by or mentioned in said Declaration of Condominium Property Regime, as said Declaration may be amended from time to time in accordance with the law, and/or in the Apartment Deed and/or as delineated on said Condominium Map.

23. Any rights of parties in possession of a portion of, or all of, the property herein, described, which rights are not disclosed by public record.

[NOTE: ENCUMBRANCES 16 THROUGH 19, INCLUSIVE, AND 21 WILL BE REMOVED AT THE CLOSING OF THE SALE OF EACH APARTMENT.]

EXHIBIT H-1
BLANKET LIENS

1. Mortgage dated August 31, 2000, made by The Royal Palm Development Company, LLC, a Virginia limited liability company, as Mortgagor, in favor of Gentry-Alaneo, a Hawaii limited partnership, as Mortgagee, filed as Land Court Document No. 2618151.

The Mortgagee's interest under said mortgage was assigned to Gentry-Pacific, Limited, a Hawaii corporation, by that certain instrument dated September 29, 2000, but effective as of August 31, 2000, filed as Land Court Document No. 2656346.

(A) Assignment of Rents and Agreement Not to Sell or Encumber Real Property. By and between The Royal Palm Development Company, LLC, a Virginia limited liability company, as Assignor, and Gentry-Alaneo, a limited partnership, as Assignee, dated August 31, 2000, recorded at the Bureau of Conveyances of the State of Hawaii as Document No. 2000-121815.

The Assignee's interest under said Assignment of Rents was assigned to Gentry-Pacific, Limited, a Hawaii corporation, by that certain instrument dated September 29, 2000, but effective as of August 31, 2000, filed as Land Court Document No. 2000-141731.

2. Mortgage dated August 31, 2000, made by the Royal Palm Development Company, LLC, a Virginia limited liability company, as Mortgagor, and Gentry-Alaneo, a Hawaii limited partnership, as Mortgagee, filed as Land Court Document No. 2648152.

(A) Financing Statement made by and between the Royal Palm Development Company, LLC, as Debtor, and Gentry-Alaneo, as Secured Party, dated August 31, 2000, filed at the Bureau of Conveyances of the State of Hawaii as Document No. 2000-121816.

If the Developer defaults under either of the Mortgages, the Assignment or the Financing Statement described above, or under any future mortgage given by the Developer prior to conveying the apartment to a buyer, the buyer's interest could be terminated. In that event, the buyer's deposit would be returned as set forth in the buyer's Sales Contract.

3. Mortgage dated January 3, 2001, made by The Royal Palm Development Company, LLC, a Virginia limited liability company, as Mortgagor, and Don Anderson and Associates, Ltd., a Virginia Corporation, as Mortgagee, filed as Land Court Document No. 2676911.

EXHIBIT I
WARRANTIES

Paragraph 15 of the Purchase Agreement used in connection with the Project provides as follows:

NO WARRANTIES AND REPRESENTATIONS AS TO APARTMENTS. The Apartment is being sold in existing "as is" condition. Seller makes no express warranties with respect to the Apartment. SELLER DISCLAIMS ANY IMPLIED WARRANTY OF HABITABILITY, ANY IMPLIED WARRANTY OF MERCHANTABILITY, ANY IMPLIED WARRANTY OF FITNESS FOR A PARTICULAR PURPOSE OR USE, ANY IMPLIED WARRANTY OF WORKMANSHIP AND ANY OTHER EXPRESS OR IMPLIED WARRANTIES WITH RESPECT TO THE APARTMENT, THE PROPERTY, THE COMMON ELEMENTS OR THE PROJECT. Purchaser acknowledges that Seller has made no warranties, express or implied, with respect to the Property, its quality or grade, or any common element or anything installed therein, its quality or grade. In particular Seller disclaims any and all responsibility or liability for any malfunctions, construction or design defects, including, without limitation, any latent or hidden defects which time may reveal or any other problems which Purchaser may encounter with respect to the Apartment or the Project. Purchaser acknowledges Seller's disclaimers and expressly waives any rights, claims or actions against Seller arising out of or connected with any defects with respect to the Property.

THIS EXHIBIT CONTAINS EXCERPTS OF PROVISIONS CONTAINED IN THE PURCHASE AGREEMENT RESPECTING WARRANTIES. PROSPECTIVE OWNERS SHOULD READ AND UNDERSTAND ALL OF THE PROVISIONS CONTAINED IN THE AFORESAID DOCUMENT RELATING TO SUCH WARRANTIES.

EXHIBIT J

SUMMARY OF PERTINENT PROVISIONS OF PURCHASE AGREEMENT

The specimen Purchase Agreement ("Agreement") contains, among other things, the following terms and conditions (which may be modified or otherwise limited by provisions which are not summarized hereinbelow):

A. The Seller (Developer) has engaged Old Republic Title & Escrow of Hawaii, Ltd. ("Escrow") to handle Purchaser's funds and to close the transaction in accordance with the terms of the Agreement. All payments to be made under the Agreement shall be paid by Purchaser to Escrow pursuant to the Escrow Agreement.

B. The Purchaser specifically acknowledges and agrees that the Condominium Declaration contains reservations of certain rights in favor of Seller, the Association and other owners and contains certain other provisions to which the Purchaser consents.

C. The "Closing Date" shall be the date specified in the Purchase Agreement. All payments shall be due and payable in full on the Closing Date, and, if not paid on said date due to Purchaser's failure to act in a diligent manner in order for said payment to be made on said date, then such nonpayment shall result in a default under the Agreement. If Purchaser, after the delivery by Seller of a copy of the Supplementary Public Report and/or Final Public Report for the Project, either personally or by registered or certified mail with return receipt requested, shall fail to execute an acknowledgement of receipt and waiver of Purchaser's right to cancel the Agreement (or shall fail to give his written approval or acceptance to any material change to the Project as requested by Seller pursuant to the provisions of Hawaii Revised Statutes Section 514A-63, as amended) within thirty (30) days of such receipt, Seller may at its option: (i) cancel the Agreement upon ten (10) days' written notice to Purchaser of such cancellation and upon such cancellation Seller shall cause Escrow to refund to Purchaser all payments previously made by Purchaser without interest; or (ii) elect (by its failure to give said written notice of cancellation) to treat such failure as a deemed acceptance ("Deemed Acceptance") of such Public Report and as a waiver of the right to cancel the Agreement (or as a Deemed Acceptance of such material change, as the case may be).

D. The Purchase Price does not include closing costs which include, among other things, the escrow fee, cost of a preliminary title report, cost of preparation of the Apartment Deed, real property tax and other prorations, all acknowledgment fees, conveyance taxes, title insurance, if requested by Purchaser, cost of any lender's title insurance, appraisal fees, costs for drafting of any notes and mortgages, all recording costs or fees, loan fees, credit report costs and all other applicable mortgage costs. Purchaser shall pay a start-up fee equal to two (2) months' of the estimated maintenance fee in advance.

E. Purchaser agrees that it will not assign the Agreement to anyone. Seller may, without any consent of Purchaser, freely assign Seller's interests therein.

F. Purchaser shall not be entitled to possession of the Apartment as the owner thereof until Purchaser has completed all required payments and has executed all documents relating to the purchase, and Purchaser has performed the remaining terms and conditions of the Agreement which are to be performed as of the Closing.

G. Notices to either party may be delivered personally or mailed.

H. The Purchaser acknowledges that Purchaser has entered into the Agreement without any reference or representation by Seller or any sales person that the Seller, or any managing agent of the Project or anyone else affiliated with the Seller will provide, directly or indirectly, any services relating to the rental or sale or management of the Apartment purchased.

I. The laws of the State of Hawaii shall govern all matters with respect to the Agreement.

J. Purchaser has examined and approved the estimate of monthly maintenance charges for the Property as shown in the Public Report. Purchaser is aware that such amounts are only estimates and may change for reasons beyond the control of Seller, and Purchaser hereby specifically accepts and approves any such changes.

* * * * *

THE ABOVE SUMMARY IS NOT INTENDED TO BE A THOROUGH AND EXHAUSTIVE EXPLANATION OF ALL TERMS AND PROVISIONS CONTAINED IN THE PURCHASE AGREEMENT. WHILE A PURCHASER CAN USE THIS SUMMARY AS A GENERAL SUMMARY OF PURCHASER'S RIGHTS AND OBLIGATIONS UNDER THE PURCHASE AGREEMENT, PURCHASER MUST REFER TO THE PURCHASE AGREEMENT TO DETERMINE PURCHASER'S ACTUAL RIGHTS AND OBLIGATIONS. IF ANY CONFLICT OR DIFFERENCE EXISTS BETWEEN THIS SUMMARY AND THE PURCHASE AGREEMENT, THE PURCHASE AGREEMENT WILL CONTROL.

EXHIBIT K

SUMMARY OF PERTINENT PROVISIONS OF ESCROW AGREEMENT

The Escrow Agreement dated December 1, 2000 (the "Escrow Agreement"), executed by and between Old Republic Title & Escrow of Hawaii, Ltd., as Escrow, and The Royal Palm Development Company, LLC, as Seller, provides in part as follows:

A. When Seller (Developer) shall enter into a Deposit Receipt and Sales Contract for the conveyance of an apartment or other interest in the Project ("Sales Contract"), it shall require the payments of deposits due thereunder to be promptly made to Escrow, and shall deliver an executed copy of the Sales Contract to Escrow together with the address of the Buyer. Seller shall also promptly pay over to Escrow all monies (including checks) received by Seller from or on behalf of the Buyers, including those received on any Sales Contract, and all payments made on loan commitments from lending institutions on account of any apartment in the Project, other than funds received from interim financing.

B. Escrow shall receive, deposit and hold in separate escrow accounts and disburse as set forth in the Agreement: (a) all payments received by it under Sales Contracts, (b) such sums received by it under the Agreement from or for the account of Seller, and (c) all sums received by it from any other source with respect to the Project. Escrow shall not at any time commingle or permit the commingling of any Buyer's funds with funds belonging to or held for the benefit of Seller. All funds and instruments received from Buyers or prospective Buyers shall be held by Escrow in accordance with the provisions contained in Chapter 514A of the Hawaii Revised Statutes. All monies received by Escrow hereunder shall be deposited, within a reasonable time of the receipt by Escrow and in reasonably convenient and practical sums, in a trust fund with a bank, savings and loan or trust company authorized to do business in the State of Hawaii under an escrow arrangement, and shall be held in immediately available funds in accordance with the terms the Escrow Agreement.

C. Escrow shall make no disbursements of Buyers' funds or proceeds from the sale of apartments in the Project (including any payments made on loan commitments from lending institutions), except by way of refunds thereof as provided in the Agreement, until Escrow has received a letter from Seller stating that the Buyers have signed the required Receipt and Notice of Right to Cancel or are deemed to have receipted for the public reports and to have waived their right to cancel, and stating further that no subsequent events have occurred which would give the Buyers the right to rescind, the Sales Contracts have "become effective" and "the requirements of Sections 514A-40, 514A-39.5 and 514A-63" of the Hawaii Revised Statutes have been met, as said phrases are used in Section 514A-65, Hawaii Revised Statutes, and further that the requirements of Section 514A-62 of the Hawaii Revised Statutes have been met.

D. Each Buyer shall be entitled to a return of his or her funds, without interest, and Escrow shall pay such funds to such Buyer, promptly after request for return by the Buyer if one of the following has occurred:

(1) Escrow receives a written request from Seller to return to the Buyer the funds of the Buyer then being held by Escrow;

(2) Seller notifies Escrow in writing of Seller's exercise of the option to rescind the Sales Contract pursuant to any right of rescission stated therein or otherwise available to Seller;

(3) The conditions providing for a refund under Section 514A-62 or under Section 514A-63 of the Hawaii Revised Statutes (as amended on the date upon which the Sales Contract becomes binding and effective) have been met, and written notice thereof has been provided to Seller.

Upon the return of said funds to the Buyer as aforesaid, Escrow shall return to Seller such Buyer's Sales Contract and any conveyancing documents theretofore delivered to Escrow pursuant to such Sales Contract; and thereupon the Buyer shall no longer be obligated under the Sales Contract. Other documents delivered to Escrow relating to the sale of the apartment identified in such Sales Contract will be returned to the person from whom or entity from which they were received.

Upon the cancellation of any Sales Contract as specified above, Escrow shall be entitled to a \$25.00 cancellation fee.

E. If the Buyer fails to make any payment on or before the due date thereof or if the Buyer does or fails to do any act which would constitute an event of default under the Sales Contract, Seller shall promptly give to such Buyer and to Escrow, written notice of default. If Buyer has failed to cure the default after the delivery of notice by Escrow and such default continues after the expiration of any grace period, Escrow shall so advise Seller. If Seller shall thereafter certify in writing to Escrow: (1) that Seller has elected to terminate the Sales Contract and has notified the Buyer, or (2) that Buyer is otherwise in default, then, and in either event, Escrow, subject to the provisions relating to dispute and conflicting demands set forth in paragraph 14 of the Agreement, shall thereafter treat all funds of the Buyer paid under such Sales Contract, less Escrow's cancellation fee, as funds of Seller and not of the Buyer. Thereafter, such funds shall be held free of the escrow established by the Agreement and shall be held by Escrow for the account of Seller. Upon written request by Seller, Escrow shall pay such funds to Seller or order and shall return to Seller the Sales Contract of such Buyer and any other documents theretofore delivered to Escrow in connection with the purchase of the apartment specified in such Sales Contract shall be returned to the person from whom or entity from which such documents were received.

THIS EXHIBIT CONTAINS ONLY A BRIEF SUMMARY OF THE PROVISIONS CONTAINED IN THE ESCROW AGREEMENT. PROSPECTIVE BUYERS SHOULD READ AND UNDERSTAND ALL OF THE PROVISIONS CONTAINED IN THE AGREEMENT.

EXHIBIT "L"

SUMMARY OF APARTMENT DEED FORM

The specimen Apartment Deed, Encumbrances and Restrictions and Reservation of Rights with Power of Attorney The Royal Palm at Waipio – Phase II and the specimen Apartment Deed, Encumbrances and Restrictions and Reservation of Rights with Power of Attorney The Royal Palm at Waipio – Phase III ("Deed" or "Apartment Deed") contains among others, the following provisions (which may be modified or otherwise limited by provisions which are not summarized hereinbelow):

A. The premises conveyed comprises a portion of The Royal Palm at Waipio – Phase II or the The Royal Palm at Waipio – Phase III Condominium -Property Regimes situate at Waipio, District of Ewa, City and County of Honolulu, State of Hawaii.

B. The Grantor (Developer) is the lawful owner of the fee simple interest in the real property and the rights to be transferred to the Purchaser; that the same are free and clear of and from all encumbrances except as identified in the Deed and except for the lien of real property taxes not yet by law required to be paid; that the Grantor has good right and title to sell and convey said real property in the manner set forth in the Deed; and the Grantor will WARRANT AND DEFEND the same unto the Purchaser forever against the lawful claims and demands of all persons, except as mentioned in the Deed.

C. Purchaser agrees and consents to the exercise by Grantor of any of its reserved rights set forth in the Condominium Declaration, and appoints Grantor as Purchaser's attorney-in-fact to effect the same.

D. Purchaser agrees, for the benefit of all other owners of the other apartments in the Project, to at all times observe, perform, comply with and abide by all of the covenants, agreements, obligations, conditions and other provisions set forth in the Condominium Declaration, the Bylaws and the Rules and Regulations as any of the same exist or may hereafter be amended in accordance with law and does accept and approve of the Declaration, Bylaws and Rules and Regulations.

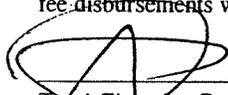
* * * * *

THE ABOVE SUMMARY IS NOT INTENDED TO BE A THOROUGH AND EXHAUSTIVE EXPLANATION OF ALL TERMS AND PROVISIONS CONTAINED IN THE APARTMENT DEED. WHILE A PURCHASER CAN USE THIS SUMMARY AS A GENERAL SUMMARY OF THE APARTMENT DEED, PURCHASER MUST REFER TO THE APARTMENT DEED TO DETERMINE PURCHASER'S ACTUAL RIGHTS AND OBLIGATIONS. IF ANY CONFLICT OR DIFFERENCE EXISTS BETWEEN THIS SUMMARY AND THE APARTMENT DEED, THE APARTMENT DEED WILL CONTROL.

EXHIBIT " M"
 ROYAL PALM, PHASE II
 Estimated Annual Common Expense

	<u>Monthly</u>	<u>Annual</u>
Utilities and Services		
Television		
Air Conditioning		
Electricity (common elements only)	\$247.00	\$2,964.00
Gas	\$17.00	\$204.00
Water and Sewer	\$2,224.00	\$26,688.00
Refuse Collection	\$687.00	\$8,244.00
Telephone/Communication	\$14.00	\$168.00
 Maintenance, Repairs, and Supplies		
Building	\$105.00	\$1,260.00
Grounds	\$1,390.00	\$16,680.00
 Management		
Management Fee	\$518.00	\$6,216.00
Payroll and Payroll Taxes	\$1,650.00	\$19,800.00
Office Expenses	\$313.00	\$3,756.00
 Insurance	 \$1,312.00	 \$15,744.00
 Reserves	 \$5,460.00	 \$65,520.00
 Taxes and Government Assessments	 \$4.00	 \$48.00
Professional Services - Audit	\$50.00	\$600.00
Other - Legal Expenses	\$50.00	\$600.00
Security	\$508.00	\$6,096.00
Vehicle	\$14.00	\$168.00
Amenities	\$181.00	\$2,172.00
 TOTAL	 <u>\$14,744.00</u>	 <u>\$176,928.00</u>

I, TONI FLOERKE-POLITSCH, as agent and employment by CERTIFIED MANAGEMENT, INC., the condominium managing agent or the developer, for the condominium project Royal Palm, Phase II hereby certify that the above estimates of initial maintenance fee assessments and maintenance fee disbursements were prepared in accordance with generally accepted accounting principles.



 Toni Floerke-Politsch
 Vice President of the Community Management Division
 page 1 of 3

1/26/01
 Date

ROYAL PALM, PHASE II
ESTIMATE OF INITIAL MAINTENANCE FEE
and
MAINTENANCE FEE DISTRIBUTION

ESTIMATE OF INITIAL MAINTENANCE FEE

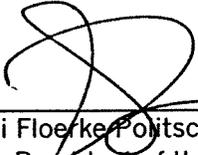
<u>APARTMENT TYPE</u>		<u>Monthly Fee</u> <u>x 12 mos.</u>	<u>Yearly</u>
ST	0.9000	\$130.25	\$1,563.00
BD1	1.0600	\$153.40	\$1,840.80
BD2	1.5700	\$227.21	\$2,726.52

The Real Estate Commission has not reviewed the estimates of maintenance fee assessments and disbursements for their accuracy or sufficiency.

[] Revised on _____

ROYAL PALM, PHASE II
Certification of Reserve Study

I, TONI FLOERKE-POLITSCH, as agent and employed by CERTIFIED MANAGEMENT, INC. the condominium managing agent or the developer, for the condominium project, ROYAL PALM, Phase II, hereby certify that a reserve study has been conducted in accordance with 514A-83.6, HRS, and the replacement reserve rules, Subchapter 6, Title 16, Chapter 107, Hawaii Administrative Rules, as amended.



Toni Floerke-Politsch
Vice President of the Community Management Division

1/26/01
Date

CERTIFIED MANAGEMENT, INC.

PROJECT NUMBER: 469

MONTHLY BUDGET ANALYSIS FOR:

SUNPOINT ph III

Approved budget to be effective on: January 1, 2001

Prepared By: R. C. Wolter/Jo Ann Eugenio

Board Approved Date:

		2000 Budget	Actual Monthly Average	Proposed 2001 Budget	Approved 2001 Budget
REVENUE:		CHANGE-Fees, Dues, & Receipts = 0.7% 0.0% 0.0%			
40100	FEES, DUES & RECEIPTS	15,685	15,788	15,685	15,685
40100	ASSESSMENTS	377	0	0	0
40100&40200	TAXABLE INCOME	45	313	212	212
TOTAL REVENUES		\$16,107	\$16,101	\$15,897	\$15,897
EXPENSES:					
OPERATING EXPENSES:					
70100	WAGES AND SALARIES	801	1,025	1,350	1,350
70200	EMPLOYEE BENEFITS	447	372	588	588
70300	ADMINISTRATIVE COSTS	436	313	398	398
70320	PETTY CASH REIMBURSEMENTS	0	0	0	0
70350	BAD DEBT EXPENSE	50	0	50	50
70700	MANAGEMENT SERVICES	0	0	0	0
70800	PROPERTY MANAGEMENT	698	698	698	698
70900	LEGAL	100	6	100	100
71100	OTHER PROFESSIONAL	58	50	50	50
71200	ELECTRICITY	293	304	289	289
71300	WATER	820	902	950	950
71350	SEWER	1,729	1,519	1,879	1,879
71400	TELEPHONE	24	23	23	23
71500	GAS	56	21	26	26
71700	EXTERMINATING	100	0	100	100
71800	RUBBISH REMOVAL	749	738	754	754
71900	SECURITY	530	622	634	634
72000	CUSTODIAL	425	251	174	174
72100	MAINTENANCE	1,702	1,491	1,258	1,258
72200	AMENITIES	244	224	265	265
72300	VEHICLE COSTS	30	4	27	27
72500	TAXES	14	6	6	6
72600	FIXED EXPENSE	0	0	0	0
72700	INSURANCE	1,549	1,345	1,457	1,457
TOTAL OPERATING EXPENSES:		\$10,855	\$9,914	\$11,076	\$11,076
NON-OPERATING EXPENSES:					
73000	CAPITAL EXPENSE	5,583	262	6,239	6,239
78000	DEPRECIATION EXPENSE	0	0	0	0
TOTAL NON-OPERATING EXPENSES:		\$5,583	\$262	\$6,239	\$6,239
TOTAL EXPENSES		\$16,438	\$10,176	\$17,315	\$17,315
NET INCOME		(\$331)	\$5,925	(\$1,418)	(\$1,418)
RESERVE FUND TRANSFERS:					
37290-499	TRANSFER CLEARING-FROM RESERVES	5,583	0	6,239	6,239
37290-799	TRANSFER CLEARING-TO RESERVES	5,252	10,046	4,821	4,821
NET RESERVE TRANSFERS		\$331	(\$10,046)	\$1,418	\$1,418
NET INCOME & NET RESERVE TRANSFERS		\$0	(\$4,121)	(\$0)	\$0

NOTE: The budgeted revenues and expenses are based on accrual-basis accounting.



PROJECT NUMBER: 469

MAINTENANCE FEE ANALYSIS FOR:

SUNPOINT ph III

Approved budget to be effective on: January 1, 2001

Prepared By: R. C. Wolter/Jo Ann Eugenio

Board Approved Date: _____

Unit Type	PerCent Common Interest	Number Of Units	Maint Fee Per Unit	Total Maint Fee (Unit Type)	Other Fees Per Unit	Special Assess Per Unit	Total Spc Assess (Unit Type)	Total Amount Per Unit
Studio	0.819000	16	128.46	2,055.36	-	-	-	128.46
Bd1	0.953000	32	149.48	4,783.30	-	-	-	149.48
Bd2	1.410000	40	221.16	8,846.34	-	-	-	221.16
TOTALS	100.0000%	88		15,685.00				

EXHIBIT N

SUNPOINT - PHASE II CONDOMINIUM PROJECT
REGISTRATION NO. _____
DISCLOSURE ABSTRACT AS OF NOVEMBER ____, 1996

1. Project: Sunpoint - Phase II, Waipahu, Oahu, 96797
Building 8 - 94-1352 Kulewa Loop
Building 9: 94-1358 Kulewa Loop
Building 10: 94-1364 Kulewa Loop
Building 11: 94-1370 Kulewa Loop
Building 12: 94-1374 Kulewa Loop
Building 13: 94-1375 Kulewa Loop
Building 14: 94-1369 Kulewa Loop
Building 15: 94-1363 Kulewa Loop
Building 16: 94-1359 Kulewa Loop
2. Developer: Gentry-Alaneo, a Hawaii limited partnership
560 N. Nimitz Highway
Honolulu, Hawaii 96817
(808) 599-5558
3. Managing Agent: Certified Management, Inc.
3179 Koapaka Street
Honolulu, Hawaii 96819-1927
(808) 836-0911

4. Maintenance Fees: The breakdown of the estimated annual maintenance fees and the estimated monthly fees for each apartment, representing the common expenses of the Project allocated to each apartment, which are hereby certified to be based on generally accepted accounting principles, are set forth in Exhibit "A" attached hereto and made a part hereof. The Developer advises that the maintenance fees of a condominium project are difficult to estimate prior to actual operation of the Project and even if maintenance fees have been accurately estimated, such fees will tend to increase in an inflationary economy and as the improvements age. The estimated maintenance fees and monthly fees for each apartment are based on the latest information available to the Developer and the Managing Agent and are subject to revision based on actual costs for items enumerated. Maintenance fees can vary depending on services desired by apartment owners. Each buyer should check the attached maintenance fee schedule to see what services are included therein. The Developer also discloses that a reserve study was done in accordance with Hawaii Revised Statutes Section 514A-83.6 and the Hawaii Administrative Rules, Chapter 107, in arriving at the estimate of reserve funds necessary to maintain the Project, which is contained in Exhibit "A".

Notwithstanding the foregoing, each buyer shall not be obligated for the payment of such buyer's monthly maintenance fees until the Developer files an amended disclosure abstract with the Real Estate Commission (the "Commission") providing for a specific date on which such buyer must commence payment of such fees. The amended disclosure abstract shall be filed at least thirty (30) days prior to the date on which each buyer must assume responsibility for such payment, and Developer will furnish each buyer with a copy of the amended disclosure abstract.

SUNPOINT - PHASE II CONDOMINIUM PROJECT
REGISTRATION NO. 3653
DISCLOSURE ABSTRACT AS OF NOVEMBER 5, 1996

1. Project: Sunpoint - Phase II, Waipahu, Oahu, 96797
Building 8 - 94-1352 Kulewa Loop
Building 9: 94-1358 Kulewa Loop
Building 10: 94-1364 Kulewa Loop
Building 11: 94-1370 Kulewa Loop
Building 12: 94-1374 Kulewa Loop
Building 13: 94-1375 Kulewa Loop
Building 14: 94-1369 Kulewa Loop
Building 15: 94-1363 Kulewa Loop
Building 16: 94-1359 Kulewa Loop

2. Developer: Gentry-Alaneo, a Hawaii limited partnership
560 N. Nimitz Highway
Honolulu, Hawaii 96817
(808) 599-5558

3. Managing Agent: Certified Management, Inc.
3179 Koapaka Street
Honolulu, Hawaii 96819-1927
(808) 836-0911

4. Maintenance Fees: The breakdown of the estimated annual maintenance fees and the estimated monthly fees for each apartment, representing the common expenses of the Project allocated to each apartment, which are hereby certified to be based on generally accepted accounting principles, are set forth in Exhibit "A" attached hereto and made a part hereof. The Developer advises that the maintenance fees of a condominium project are difficult to estimate prior to actual operation of the Project and even if maintenance fees have been accurately estimated, such fees will tend to increase in an inflationary economy and as the improvements age. The estimated maintenance fees and monthly fees for each apartment are based on the latest information available to the Developer and the Managing Agent and are subject to revision based on actual costs for items enumerated. Maintenance fees can vary depending on services desired by apartment owners. Each buyer should check the attached maintenance fee schedule to see what services are included therein.

Notwithstanding the foregoing, each buyer shall not be obligated for the payment of such buyer's monthly maintenance fees until the Developer files an amended disclosure abstract with the Real Estate Commission (the "Commission") providing for a specific date on which such buyer must commence payment of such fees. The amended disclosure abstract shall be filed at least thirty (30) days prior to the date on which each buyer must assume responsibility for such payment, and Developer will furnish each buyer with a copy of the amended disclosure abstract.

5. Warranties: The Project consists of sixty-eight (68) residential apartments contained in nine (9) buildings, each containing either one (1) or two (2) stories. In addition, there are seventy-seven (77) regular sized parking stalls, sixty-one (61) of which are covered and sixteen (16) of which are uncovered.

The buildings were constructed in 1986. The Project, the apartments and anything installed or contained therein are being sold in "AS IS" condition "WITH ALL FAULTS" by the Developer, without any warranties whatsoever, express or implied. Paragraphs 7 and 8 of the Deposit Receipt and Sales Contract used in connection with the Project provide as follows:

7. APARTMENT BEING SOLD "AS IS" WITH "ALL FAULTS". The Apartment and the Project are now being sold in "AS IS" condition with "ALL FAULTS". This means that Seller shall not correct any defects in the Project, the Apartment or anything installed or contained therein. The existence of any defect in the Project, the Apartment or anything installed or contained therein shall not excuse Buyer's obligation to perform all of Buyer's obligations under this Contract.

8. SELLER'S DISCLAIMER OF WARRANTIES.

(a) No Warranties of Seller. Buyer understands and agrees that Seller is disclaiming any warranties, either express or implied, including any implied warranties of habitability, merchantability or fitness for a particular purpose, with respect to the Project, the Apartment or anything installed or contained therein. Each apartment will be deemed to be sold "AS IS" with "ALL FAULTS". Without limiting the generality of the foregoing, Seller will not be liable to Buyer for any construction or other defects (including any latent or hidden defects in the Project, the Apartment or anything installed or contained therein) or for any other aspects of the Project, the Apartment or anything installed or contained therein. This means that Buyer will not have the right to file any lawsuit for damages against Seller for any defects or other matters later discovered by Buyer. Buyer should have the Apartment and the Project inspected to Buyer's satisfaction.

(b) Hazardous Materials and Condition of Project. Seller has made no independent investigation as to asbestos or other hazardous substances in the apartments or in, under or around the Project, including but not limited to, radioactive materials, organic compounds known as polychlorinated biphenyls,

chemicals known to cause cancer or reproductive toxicity, pollutants, contaminants, hazardous wastes, toxic substances, and any and all other substances or materials defined as or included in the definition of "hazardous substances", "hazardous wastes", "hazardous materials" or "toxic substances" under, or for the purposes of hazardous materials laws. Buyer acknowledges that in light of the ages of the buildings in the Project, there may be asbestos or other hazardous substances in the apartments, or in, under or around the Project. Because of the possible presence of asbestos and other hazardous substances, Buyer should have the apartments and the Project inspected to determine the extent of such contamination and any necessary remedial action. Seller will not correct any defects in the apartments or in the Project or anything installed or contained therein and Buyer expressly releases Seller from any liability to Buyer if any hazardous materials are discovered.

As of August 2, 1996, no outstanding notices of uncured violations of building code or other municipal regulations existed. To Developer's knowledge, information and belief, based upon a letter from the Building Department of the City and County of Honolulu attached hereto as Exhibit "B", the Project was in compliance with all applicable code requirements of the City and County of Honolulu in force at the time of its construction in 1986. Special Permit No. 85/SP-82 for joint development was approved on December 18, 1985. No variances or other special permits were granted to allow deviations from any applicable codes. The Building Department cannot determine whether the Project contains any legal nonconforming uses or structures as a result of the adoption or amendment of any ordinances or codes.

Developer does not give any assurances that the apartments can be expanded or that variances are obtainable from the City and County of Honolulu for any proposed improvements.

6. Number of Residential Apartments; Permitted Use. The Project contains sixty-eight (68) residential apartments. The apartments shall be occupied and used only as private dwellings by the respective owners thereof, their tenants, families, domestic servants and social guests, and may be utilized for long-term or short-term rentals, but specifically excluding vacation rentals, which shall be defined as (i) rental for any period less than thirty (30) days; or (ii) any rental in which the occupants of the apartment are provided customary hotel services, such as room service for food and beverage, maid service, furnishing of laundry and linen, and bellboy service. Neither the apartments nor any interest therein shall be sold, transferred, conveyed, leased, occupied, rented or used for or in connection with any time-sharing purpose or under any time-

sharing plan, arrangement or program, including without limitation any so-called "vacation license", "travel club membership" or "time-interval ownership" arrangement. The term "time-sharing" as used herein shall be deemed to include, but is not limited to, any plan, program or arrangement under which the right to use, occupy, own or possess an apartment or apartments in the Project rotates among various persons on a periodically recurring basis according to a fixed or floating interval or period of time, whether by way of deed, lease, association or club membership, license, rental or use agreement, co-tenancy agreement, partnership or otherwise. No apartment owner shall enter into any arrangement with any other apartment owner(s) in the Project whereby any rental pool of apartments or other sharing of rental income from apartments is created. No trade, business or commercial activity of any kind shall be conducted in or from any apartment or the common elements. Other than the foregoing restrictions, the apartment owners shall have the absolute right to lease the same, provided that such lease covers an entire apartment, is in writing and is made subject to the covenants and restrictions contained in the Declaration and By-Laws for the Project, as amended.

7. Existing Structures. The present condition of the site on which the Project is located and the structural components and the mechanical and electrical installations material to the use and enjoyment of the Project are described in reports from a structural engineer, electrical engineer, mechanical engineer and architect attached hereto as Exhibit "C". Although not required by law, the Developer has asked the engineers and the architect to give opinions about the condition of the Project in order to provide buyers with additional information. However, the Developer does not represent or warrant that the letters are correct or complete. The letters should not be relied upon as the opinion of the Developer. No representations are made by the Developer with respect to the expected useful life of the structural components or the mechanical and electrical installations in the Project.

Excerpts from the structural engineer's report indicate that the buildings are in very good structural condition. There were no signs of cracking or separation. Specific observations and items to be corrected are listed in the report.

Excerpts from the electrical engineer's report indicate that, based on the electrical code existing when the Project was constructed, the electrical systems in general appear to be well maintained and in good working condition. Based on code calculations, the main service equipment and service to individual dwellings are adequate for the present loads and appear to be in good operating condition. There were no observable signs of electrical conditions which presented any serious problems. There does not appear to be any problem or

deficiency with the telephone service or distribution system, nor with the television service or wiring system. Specific observations and items to be corrected are listed in the report.

Excerpts from the mechanical engineer's report indicate that most of the kitchen sinks are in good condition, but most water faucets are water stained around the escutcheon plates and some faucets are showing pitting of the chrome finish. Most of the units have the original Whirlaway kitchen sink disposal, which are noisy and vibrate excessively. Some of the units have been replaced with an ISE Badger disposal and a few units have an Emerson disposal. The range hoods are recirculating type with two speed fan and light, and are in good condition. Most of the toilets are in good condition with slight water stains, but there are a few toilets with excessive stains. Most lavatory faucets have lost their polish finish and have water stains around the faucets and at the drain. There are a few lavatories with excessive stains and most faucets are water stained and show signs of the chrome finish pitting. With respect to the shower tubs and trims, some of the joint caulking is coming apart from the tub surround. The valve assembly shows signs of the chrome finish pitting and some of the valves are badly water stained and have lost their luster. Some of the shower heads have been replaced with hand-held type showers. Most of the bathroom fans are in good condition, but some are noisy and slow to start. The water heaters are in good condition, but there were a couple of loose connectors between the flue and the heater rooms and screens need cleaning and debris removed. The above ground gas piping at the gas meter and gas header are corroding because they have not been painted for some time. Each unit has a separate pressure reducer located in a valve box, but the boxes are filled with dirt which covers the pressure reducer completely. There are fire extinguishers with cabinets located outside at the main entry to each unit, and they are in good condition, although they had not been tested since November 1995. There have been some underground leaks in the copper water piping, which have been replaced with overhead polyethylene piping. The dryers are exhausted individually through the roof and the ducts are in good condition. Specific observations and items to be corrected are listed in the report.

Excerpts from the architect's report indicate that the current physical building and site quality are generally in above average condition considering the project's longevity. While building interiors are generally in above average condition with major comments related to time longevity and normal materials wear, the building exterior base conditions will require a prudent repair and maintenance effort to resolve whatever current repairs are necessary. Major building exterior and site issues involve relocating landscape irrigation spray and site drainage away from certain buildings. Typical conditions observed were materials deterioration or damage incurred from climate, time

longevity and normal materials wear. It may be noted that during the original construction, 7 units were built to be adaptable for accessibility conversion, with larger width doors. Units 32D, 34A and 34C have already implemented some accessibility improvements by incorporation of rocker type light switches. Units 32B, 33D and 35A remain adaptable, however no accessibility modifications have been incorporated. Specific observations and items to be corrected are listed in the report.

The information set forth in this paragraph 7 is only a summary of the observations and recommendations made by the engineers and the architect in said Exhibit "C" and is not intended, nor should it be construed by its incorporation herein, to be a representation or warranty of the Developer or more important than any other observation or recommendation contained in said Exhibit "C" and not contained herein. Because the Project is being sold by the Developer in "AS IS" condition with "ALL FAULTS", each buyer should carefully review Exhibit "C" in its entirety. Furthermore, each buyer should inspect the buyer's Apartment and the Project or have the apartment and the Project inspected by buyer's own experts to buyer's complete satisfaction.

Dated: Honolulu, Hawaii, November 1, 1996.

GENTRY-ALANEO,
a Hawaii limited partnership

By: Gentry-Pacific, Ltd.
a Hawaii corporation
Its general partner

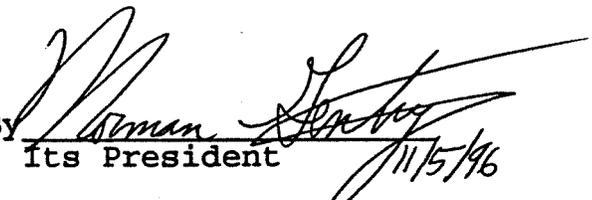
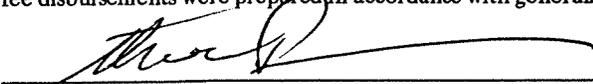
BY 
Its President 11/15/96
Developer

EXHIBIT "A"
 SUNPOINT, PHASE II
 Estimated Annual Common Expense

	<u>Monthly</u>	<u>Annual</u>
Utilities and Services		
Television		
Air Conditioning		
Electricity (common elements only)	\$265.00	\$3,180.00
Gas	\$11.00	\$132.00
Water and Sewer	\$2,473.00	\$29,676.00
Refuse Collection	\$817.00	\$9,804.00
Telephone/Communication	\$10.00	\$120.00
 Maintenance, Repairs, and Supplies		
Building	\$24.00	\$288.00
Grounds	\$1,284.00	\$15,408.00
 Management		
Management Fee	\$539.00	\$6,468.00
Payroll and Payroll Taxes	\$1,049.00	\$12,588.00
Office Expenses	\$196.00	\$2,352.00
 Insurance	 \$2,035.00	 \$24,420.00
 Reserves	 \$3,104.00	 \$37,248.00
 Taxes and Government Assessments	 \$36.00	 \$432.00
Professional Services - Audit	\$58.00	\$696.00
Other - Legal Expenses		
Security		
Amenities	\$96.00	\$1,152.00
 TOTAL	 <u>\$11,997.00</u>	 <u>\$143,964.00</u>

I, STEVE PEARMAIN, as agent and employment by CERTIFIED MANAGEMENT, INC., the condominium managing agent or the developer, for the condominium project Sunpoint, Phase II, hereby certify that the above estimates of initial maintenance fee assessments and maintenance fee disbursements were prepared in accordance with generally accepted accounting principles.



 Steve Pearmain, Senior Community Association Manager

11/5/96

 Date

SUNPOINT, PHASE II
ESTIMATE OF INITIAL MAINTENANCE FEE
and
MAINTENANCE FEE DISTRIBUTION

ESTIMATE OF INITIAL MAINTENANCE FEE

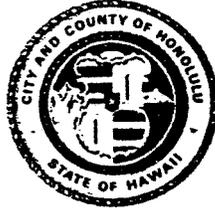
<u>APARTMENT TYPE</u>		<u>Monthly Fee</u> <u>x 12 mos.</u>	<u>Yearly</u>
ST	0.9000	\$106.88	\$1,282.56
BD1	1.0600	\$125.89	\$1,510.68
BD2	1.5700	\$186.45	\$2,237.40

The Real Estate Commission has not reviewed the estimates of maintenance fee assessments and disbursements for their accuracy or sufficiency.

[] Revised on _____

BUILDING DEPARTMENT
CITY AND COUNTY OF HONOLULU

HONOLULU MUNICIPAL BUILDING
650 SOUTH KING STREET
HONOLULU, HAWAII 96813



JEREMY HARRIS
MAYOR

RANDALL K. FUJIKI
DIRECTOR AND BUILDING SUPERINTENDENT

ISIDRO M. BAQUILAR
DEPUTY DIRECTOR AND BUILDING SUPERINTENDENT

Ex96-85

August 2, 1996

Ms. M. Patrice Franks
Gentry Homes, Ltd.
560 N. Nimitz Highway
Honolulu, Hawaii 96817

3653 S #2

Dear Ms. Patrice Franks:

Subject: SunPoint Condominium Conversion Project
94-1335 Kulewa Loop
Tax Map Key: 9-4-115: 36, 37, 38, 39, 40

This is in response to your letter dated May 28, 1996, requesting verification that the project to be known as SunPoint Condominium met all applicable code requirements at the time of construction.

Investigation revealed that the 44 structures consisting of 376 dwelling units with 498 off-street parking stalls, the recreation center and the maintenance shed located at the above-mentioned address met all applicable code requirements when they were constructed in 1986 and 1987.

Special permit No. 85/SP-82 for joint development was approved on December 18, 1985.

For your information, the Building Department cannot determine whether this project contains any legal nonconforming uses or structures as a result of the adoption or amendment of any ordinances or codes.

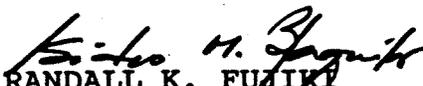
No variances or other special permits were granted to allow deviations from any applicable codes.

EXHIBIT "B"

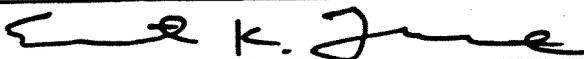
Ms. M. Patrice Franks
August 2, 1996
Page 2

If you have any questions regarding this matter, please
contact Mr. Ivan Matsumoto of this office at telephone 527-6341.

Very truly yours,


Hon RANDALL K. FUJIOKA
Director and Building
Superintendent

Subscribed and sworn to
before me this 12th day of
August, 1996.



Notary Public, First Judicial Circuit
State of Hawaii
My commission expires: June 21, 1999

EXHIBIT "C"

GENTRY - SUNPOINT ALANEO

ARCHITECTURAL SUMMARY: AUGUST 2, 1996

The subject 376 Unit project was constructed approximately 10 years ago, sequenced in 5-Increments. Current physical building and site quality is generally in above average condition considering the projects longevity. Our observation review included a sampling of 2 each 4-plex, 4 each 8-plex, 2 each 12-plex building unit interiors, building exteriors, carports and site improvements. Our report includes our recommendations for correction of discrepancies observed. We have not included any recommendations to upgrade work to comply with the current building code.

During the original construction seven units were built to be adaptable for accessibility conversion, with larger width doors. Units 32D, 34A and 34C have already implemented some accessibility improvements by incorporation of rocker type light switches. Units 32B, 33D and 35A remain adaptable however with no accessibility modifications incorporated.

While building unit interiors are generally in above average condition with major comments related to time longevity and normal materials wear, the building exteriors base conditions will require a prudent repair and maintenance effort to resolve whatever current repair are necessary. Major building exterior and site issues involve relocating landscape irrigation spray and site drainage away from certain buildings. Typical conditions observed during our walk-through with materials deterioration or damage incurred from climate, time longevity and normal materials wear include the following:

BUILDING ARCHITECTURAL INTERIORS

GENERAL CONDITIONS:

1. Some lower kitchen cabinets, especially at conditions below the sink observed with signs of delamination of the particle board surface. While some face panels and doors have been replaced, new material finish does not match existing in color tone. Color matched replacement may be desirable.
2. Some self edge plastic laminate counter-tops are either scarred or worn from use over time. Recommend replacement of the scarred or worn counter-tops with new plastic laminate finished surface.
3. Some upper cabinet doors above sink and range are worn at exposed bottom corners. Replacement w/new cabinet doors or retrofit of new protective plastic corner guards may be desirable.
4. Some mini blind blades bent or broken. Recommend assembly unit replacement with new to match existing.
5. Ground level window glass lites have been water stained from landscape irrigation overspray. Recommend replacement of tarnished glass lites with new to match existing. Redirect the landscape irrigation spray heads.
6. Some towel bars in bath, metal finish is tarnished from wear. Replacement may be desirable.
7. Some sliding door screens have been damaged from wear. Recommend replacement as necessary.
8. Some window screens damaged from wear. Recommend replacement with new to match existing.
9. Underside of Second Floor Lanai deck soffit edge separating at some conditions. Recommend sealing separation as necessary with a flexible caulking.
10. No visible signs of termite damage on building interior observed.
11. No visible signs of water irrigation and/or infiltration observed, with exception of some minor water stains at the underside of 2nd story lanai deck and stair soffit conditions.

BUILDING ARCHITECTURAL EXTERIORS

GENERAL CONDITIONS:

1. Some exterior siding at the base of building have incurred water damage. Factors contributing to the exterior masonite siding deterioration include landscape irrigation overspray and water ponding at conditions adjacent to the building exterior. Retrofit of exterior base in painted wood base trim or replacement of panel may be desirable. Redirection of irrigation spray heads and introduction of new drainage swales with slopes directed away from the building will help to reduce water build-up on building exterior skin.
2. Some electrical room exterior masonite sliding doors have incurred water damage. Refer to recommendations provided in Item no. 1.
3. Some wood shake roofing members observed with signs of curling @ various locations. Recommend replacement of affected pieces as required. (Refer to Fiddler Roofing proposal dated 5-23-96).
4. Some eave ventilation screens observed corroded, rusted and rotted out. At various conditions screens have been broken, allowing birds to enter and nest in the building attic void space. Recommend replacement of damaged screens with a perforated vinyl vent material.
5. Rusted nail heads telegraphing through the exterior paint finish have been observed. Some treatment (with rust inhibitor) or removal of rusted nails and replacement with new hot dipped galvanized nails may be necessary.
6. Some exposed painted metal at carports observed with rust incurring at various locations. Recommend rust removal down to bare metal and repainting w/rust inhibitor material.
7. Exterior stair tread metal supports and lag screws observed with rust development. Some treatment (with rust inhibitor) or removal of rusted members and replacement with new to match existing may be necessary.
8. Window type air conditioning units occupant furnished with condensate drips adjacent to building exterior observed. Recommend drip outlets be routed away from building edge to reduce potential of termite migration into building. Areas of moisture accumulation are prime potential locations for subterranean termite nesting.
9. No visible signs of termite damage on building exterior observed.

FIDDLER ROOFING

7425 KAMEHAME PLACE
HONOLULU, HAWAII 96825
PHONE 808.395.0712
FAX 808.395.0712

May 23rd, 1996

Ms. Patrice Franks
C/O Gentry Homes
560 N. Nimitz Hwy, Suite 300
Honolulu, Hawaii 96817

RE: SUNPOINT ROOF INSPECTION

Ms. Franks:

I have inspected the roofing at the Sunpoint rental complex. The roofing material is medium wood shake laid upon a #15 felt.

The condition of the roofing is that of normal wear. There are various shakes and ridge pieces missing due to normal weathering conditions. The life expectancy for this type of roofing is approximately fifteen (15) years.

These are repairs that are recommended to be made to ensure that the roof meets or exceeds its life expectancy. Our fee for these repairs will be \$2,500.00.

If you have any further questions or concerns, please call 395-0712.

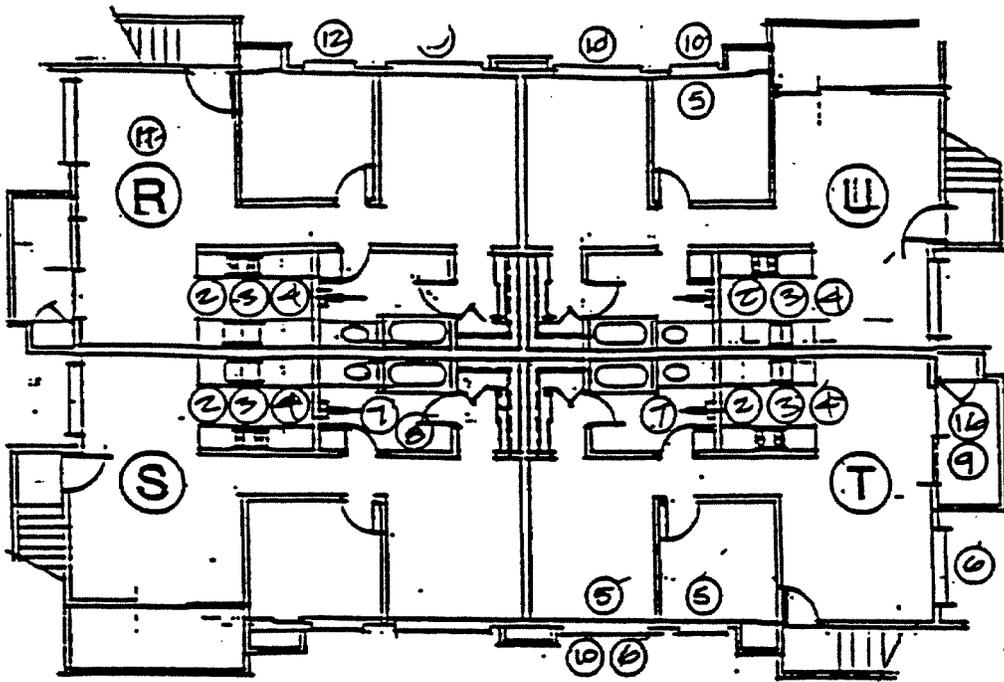
Very truly Yours,

Donnie W. Wallen

SITE ARCHITECTURAL

GENERAL CONDITIONS:

1. Some rust formation and deterioration of handrail posts and support connections have been observed. Recommend rust removal to bare metal or partial post replacement as required to match existing installation. Paint all repaired or replacement pieces with rust inhibitive paint.
2. Some sidewalk slab cracks and uplift from adjacent aggressive tree root systems. Some treatment or removal of tree root portion affecting sidewalk and new replacement concrete slab portion to match existing may be necessary.
3. Some existing sewer clean-out caps observed projecting above finished surface of walkway slab observed. Condition is a tripping hazard and potential liability. Recommend either lowering of clean out cap or raising of concrete slab finish to a flush condition.
4. Some mailbox support posts and bases rusted. Recommend rust removal to bare metal or partial post/base replacement as required to match existing. Paint all repaired or replacement pieces with rust inhibitive paint.
5. Building identification sign posts imbedded directly in ground with termite damage.
6. On-site parking generally conforms to the original construction drawing plan with exception of two standard stalls converted to accessible aisle spaces. - See Site Plan.

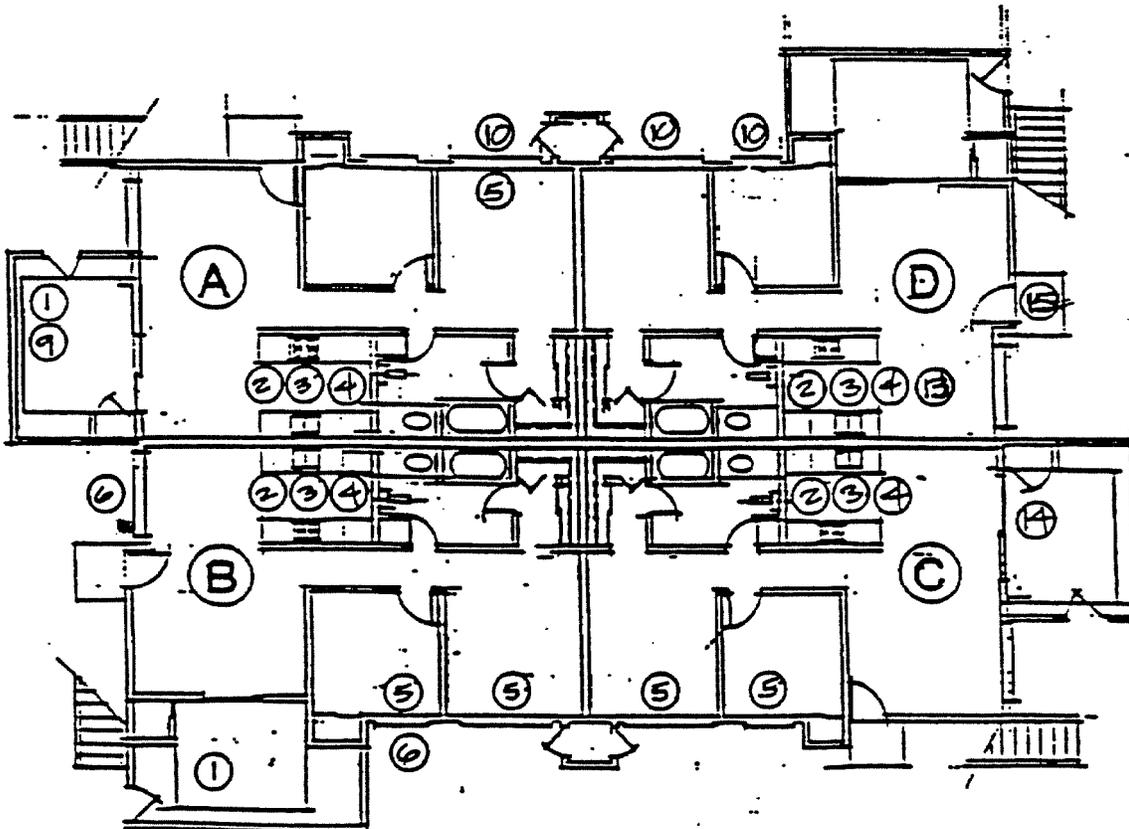


SECOND FLOOR PLAN
SC: 1/16" = 1'-0"

INCLUSION NOTES:

- * Replacement may be desirable.
- ** Replacement may be necessary.

- A1- Deck soffit edge trim separation. Caulk w/flexible sealant.
- A2- Lower cabinets water damaged and finish mismatched at face.
- A3- P-lam countertop scarred.
- A4- Upper cabinet doors above sink, edge conditions worn. Replacement of cabinet doors may be necessary or add corner protection guards.
- A5- Mini blind blades bent. Replace damaged assembly unit w/new to match existing.
- A6- Window glass water stained.
- A7- Medicine cabinet mirror door finish pitted.
- A8- Towel bar finish tarnished.
- A9- Sliding door screen damaged. Replace w/new.
- A10- Window screen damaged replace w/new screen.
- A11- Carpet appears worn and dirty.
- A12- Window screen frame warped. Replace w/new to match existing or correct warped condition.
- A13- Light diffuser lens warped. Replace w/new to match existing.
- A14- Wasp nest on Lana exterior wall. Remove nest and touch-up paint to match existing.
- A15- Automatic door closer missing. new to match existing.
- A16- Screen door latch does not engage. Repair or replace as required.

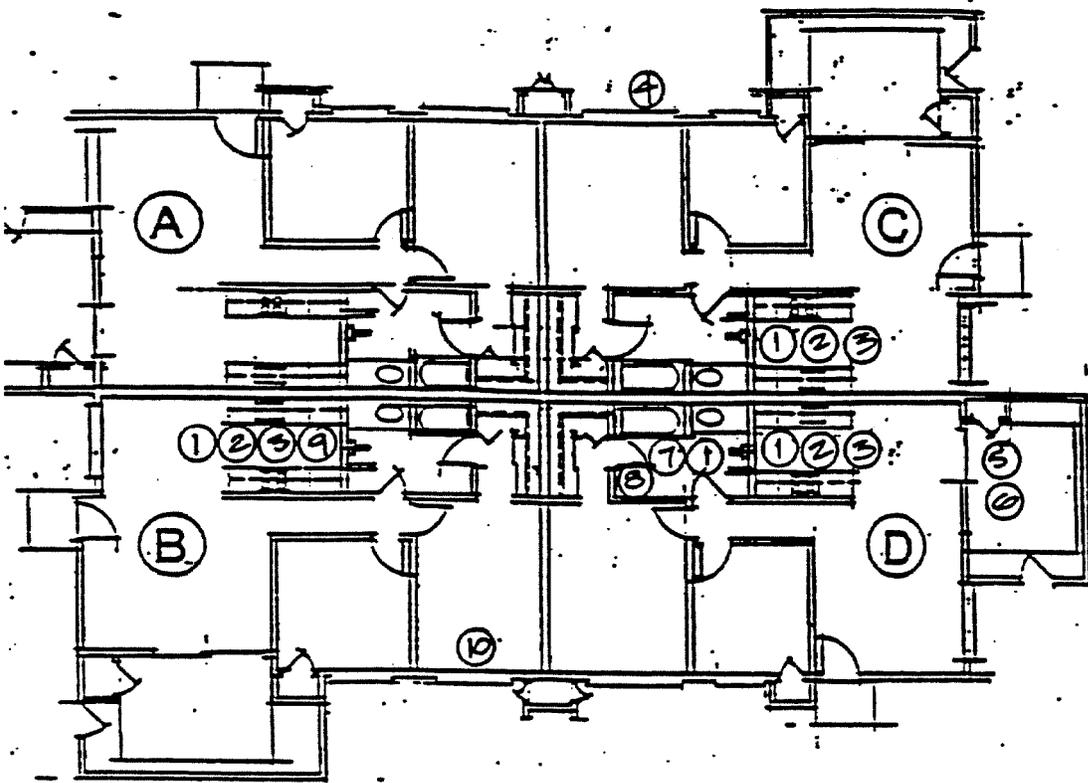


FIRST FLOOR PLAN
SC: 1/16" = 1'-0"

8-PLEX BUILDING #7
GENTRY SUNPOINT ALANEO

SUEDA & ASSOCIATES, INC.

- A1- Lower cabinets water
* damaged and finish mismatched at face condition.
- A2- Upper cabinet doors above sink, edge conditions worn. Repair of cabinet doors may be necessary or add new corner protection guards.
- A3- P. Lam countertop
* scarred.
- A4- Window glass water
* stained.
- A5- Sliding screen door operation untracks. Adjust door guide or may replace w/new door leaf.
- A6- Sliding door screen damaged. Replace w/new screen.
- A7- Medicine cabinet
** mirror door finish pitted.
- A8- Upper cabinet door
** leafs. Do not match melamine finish colors differ.
- A9- Light diffuser lens warped. Replace w/new to match existing.
- A10- Mini blind blades bent. Replace damaged assembly unit w/new to match existing.

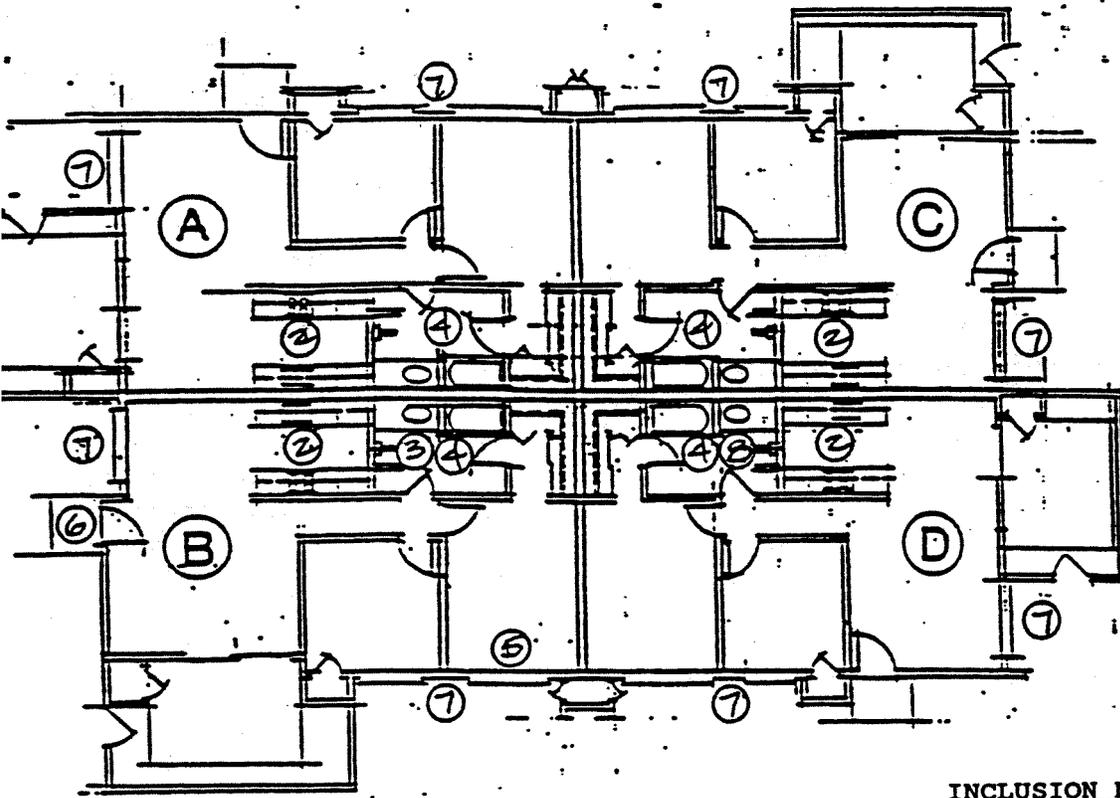


FIRST FLOOR PLAN
SC: 1/16" = 1'-0"

INCLUSION NOTES:

- * Replacement may be desirable.
- ** Replacement may be necessary.

- A1- Deck soffit edge trim separation. Caulk w/Flexible sealant.
- A2- Lower cabinets water damaged and mismatched at face condition.
- A3- Mirror finish at Vanity pitted.
- A4- Towel bar finish tarnished.
- A5- Window frame trim dented. Correct warped condition of frame.
- A6- Entry door surface chipped. Patch and touch-up paint.
- A7- Window glass water stained.
- A8- Toilet paper holder missing. Replace.



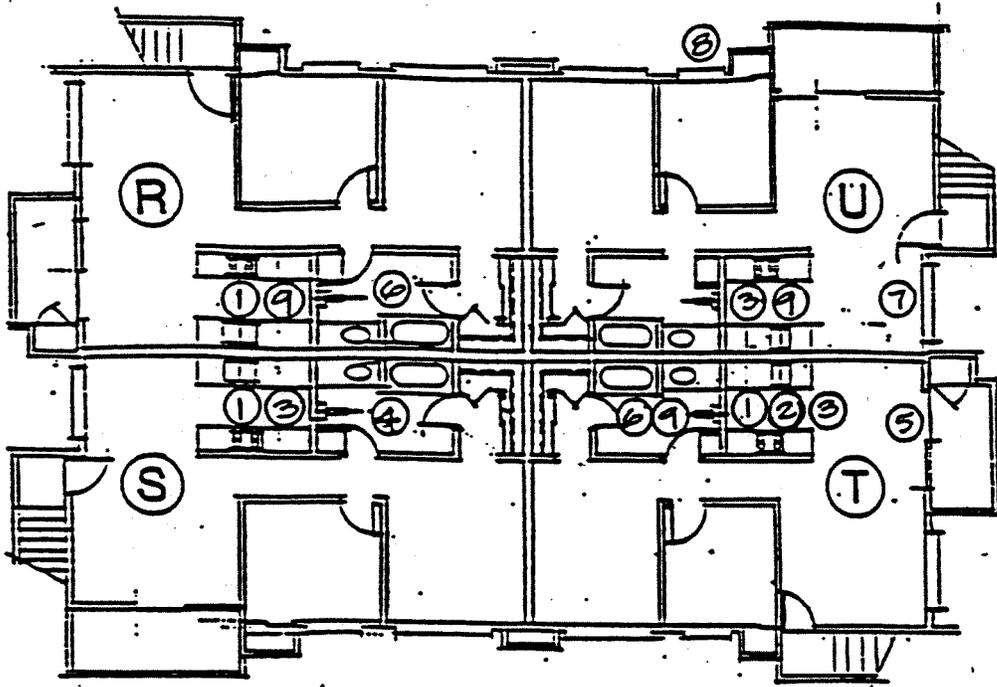
FIRST FLOOR PLAN
SC:1/16"=1'-0"

INCLUSION NOTES

- * Replacement may be desirable.
- ** Replacement may be necessary.

4-PLEX BUILDING #12
GENTRY SUNPOINT ALANEO

SUEDA & ASSOCIATES, INC.

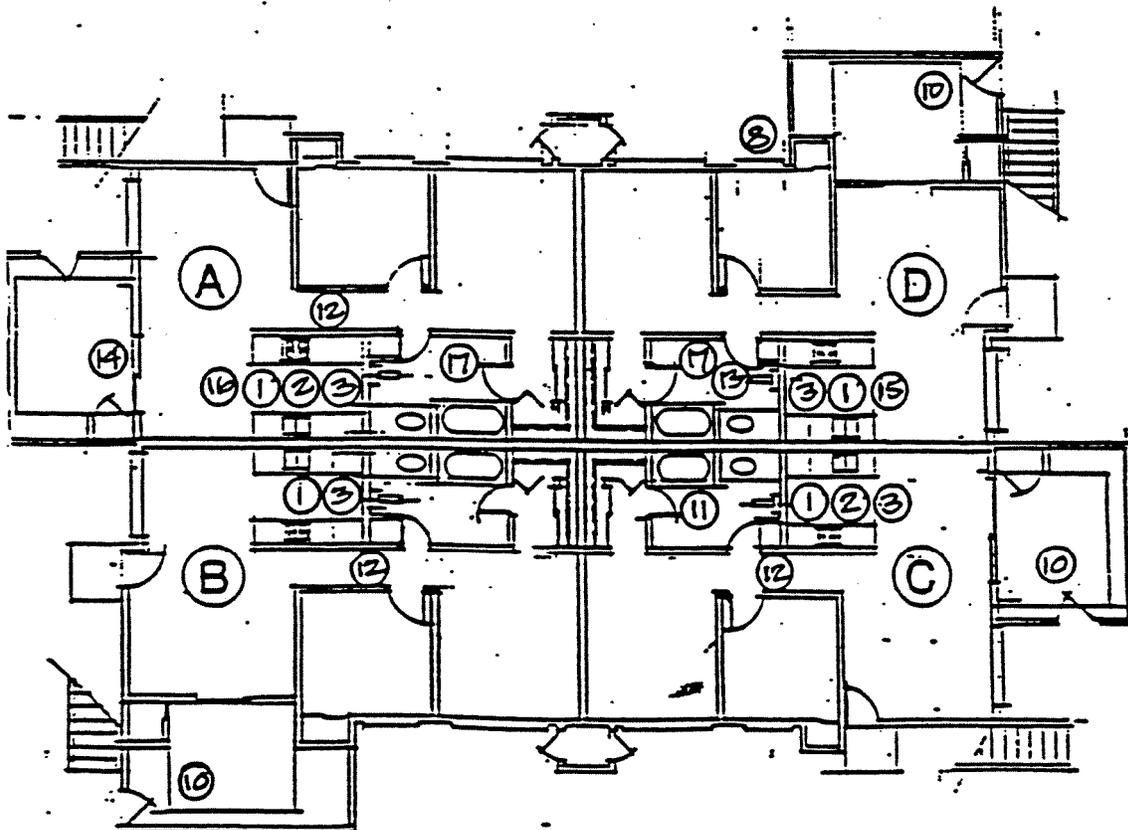


SECOND FLOOR PLAN
SC:1/16"=1'-0"

INCLUSION NOTES:

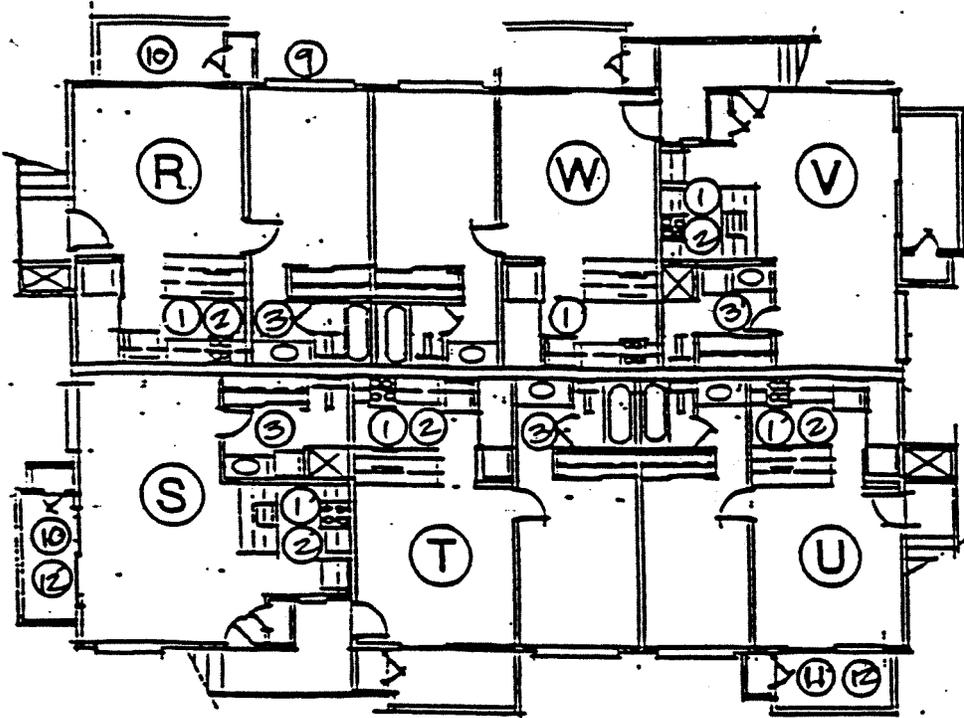
* Replacement may be desirable.

- A1- Upper cabinet doors above sink, edge conditions worn. Replacement of new cabinet doors may be necessary or add new corner protection guards.
- A2- Light diffuser lens warped.
- A3- Lower cabinets water damaged and mismatched at face condition.
- A4- Mirror finish at vanity pitted.
- A5- Sliding door jamb bent @ screen latch. Repair warped condition.
- A6- Medicine cabinet mirror door finish pitted.
- A7- Mini blind blades bent. Replace damage assembly unit w/new to match existing.
- A8- Window screen damaged. Replace w/new screen.
- A9- Drawer face edge worn.
- A10- Deck soffit edge trim separation. Caulk w/flexible sealant.
- A11- Tub/Bath wall separation caulk w/flexible sealant.
- A12- Patch opening in Gyp. Board ceiling to match existing.
- A13- Lower cabinet door face edges freyed.
- A14- Sliding door screen damaged. Replace w/new screen.
- A15- P.Lam counter top surface burned. Replace w/new to match existing.
- A16- P.Lam counter top bull nose chipped.
- A17- Touch-up paint around light switch



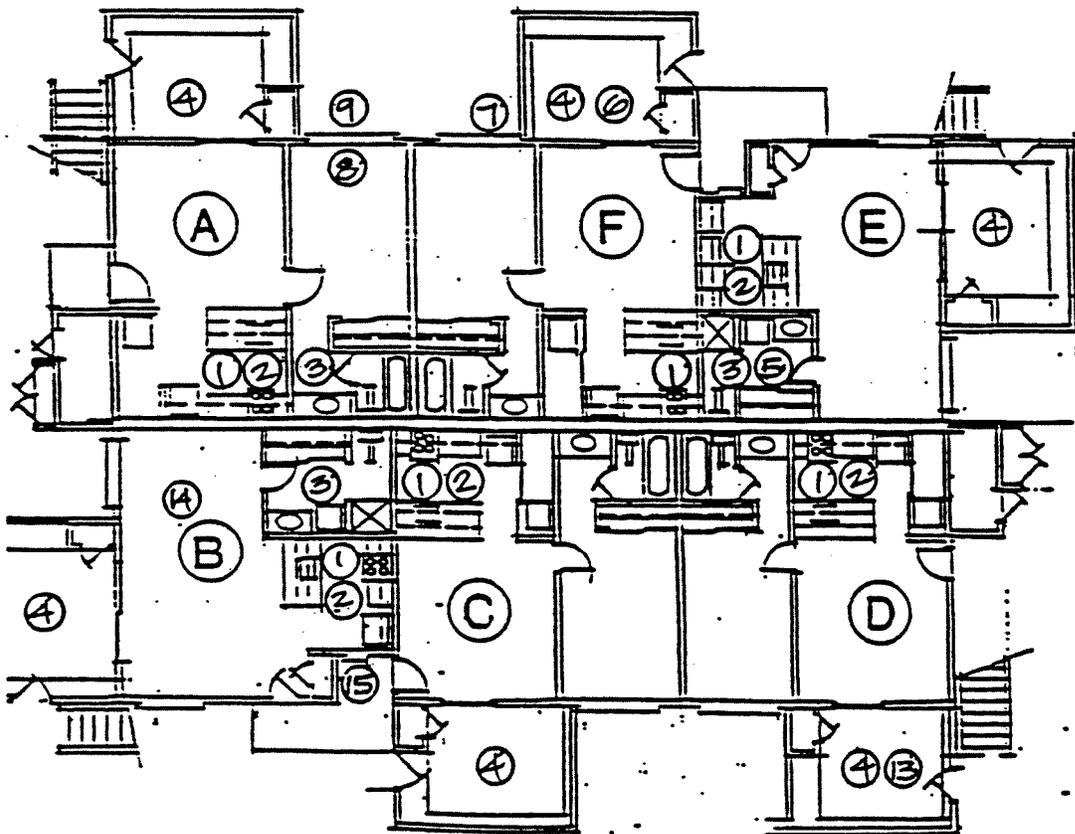
FIRST FLOOR PLAN
SC:1/16"=1'-0"

8-PLEX BUILDING #16
GENTRY SUNPOINT ALANEO



SECOND FLOOR PLAN
 SC: 1/16" = 1'-0"

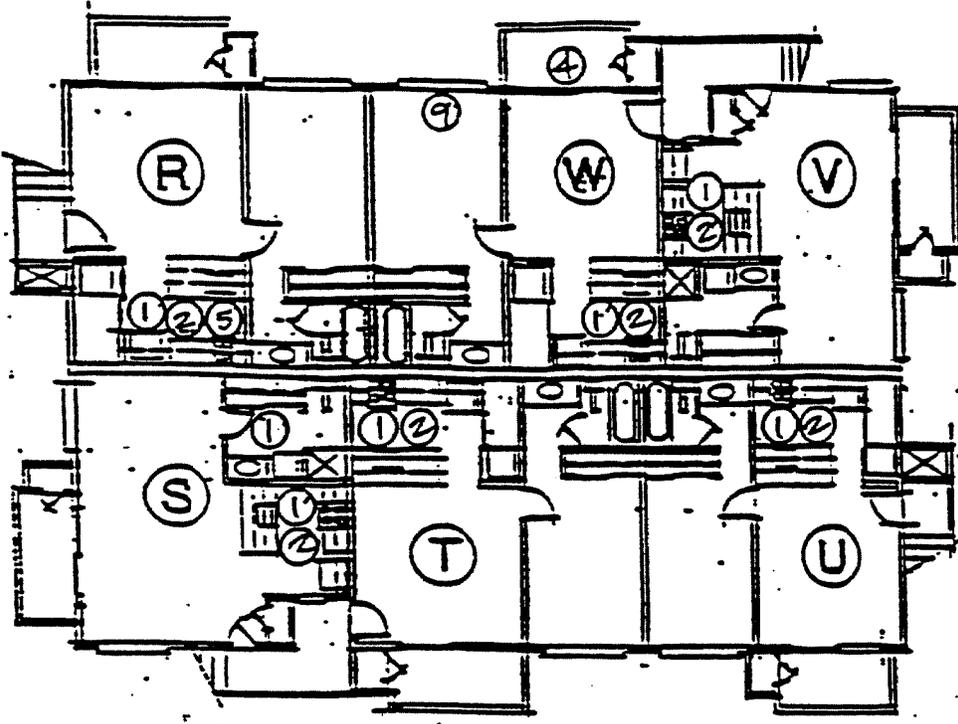
- A1- Lower cabinets water damaged and finish mismatched at face condition.
- A2- P.Lam counter top scarred.
- * A3- Medicine cabinet mirror door finish pitted.
- A4- Deck soffit edge trim separation. Caulk w/flexible sealant.
- A5- Mirror finish at vanity pitted.
- A6- Water stains at deck soffit. Test deck for potential water leaks and repairs as required.
- A7- Window glass water stained.
- * A8- Mini blind blades bent. Replace damaged assembly unit w/new to match existing.
- A9- Window screen damaged. Replace w/new screen.
- A10- Sliding door screen damaged. Replace w/new.
- A11- Sliding door screen frame warped. Repair warped condition.
- A12- Mildew growth @ exterior deck wall. Clean w/ appropriate cleaners and touch-up paint.
- A13- Sliding screen door operation rough. Repair or replace w/ne to match existing.
- A14- Carpet appears worn and dirty.
- * A15- Window screen and frame is missing. Replace to match exist



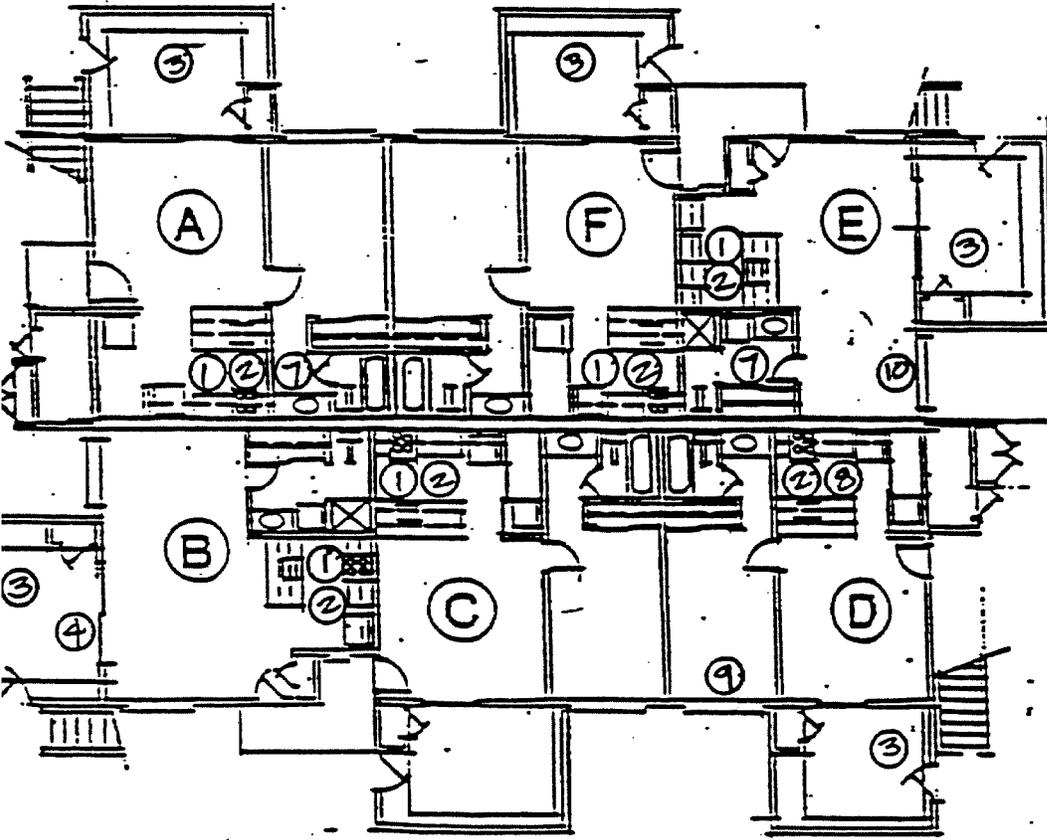
FIRST FLOOR PLAN
 SC: 1/16" = 1'-0"

INCLUSION NOTE:

* Replacement may be desirable.



SECOND FLOOR PLAN
 SC: 1/16" = 1'-0"

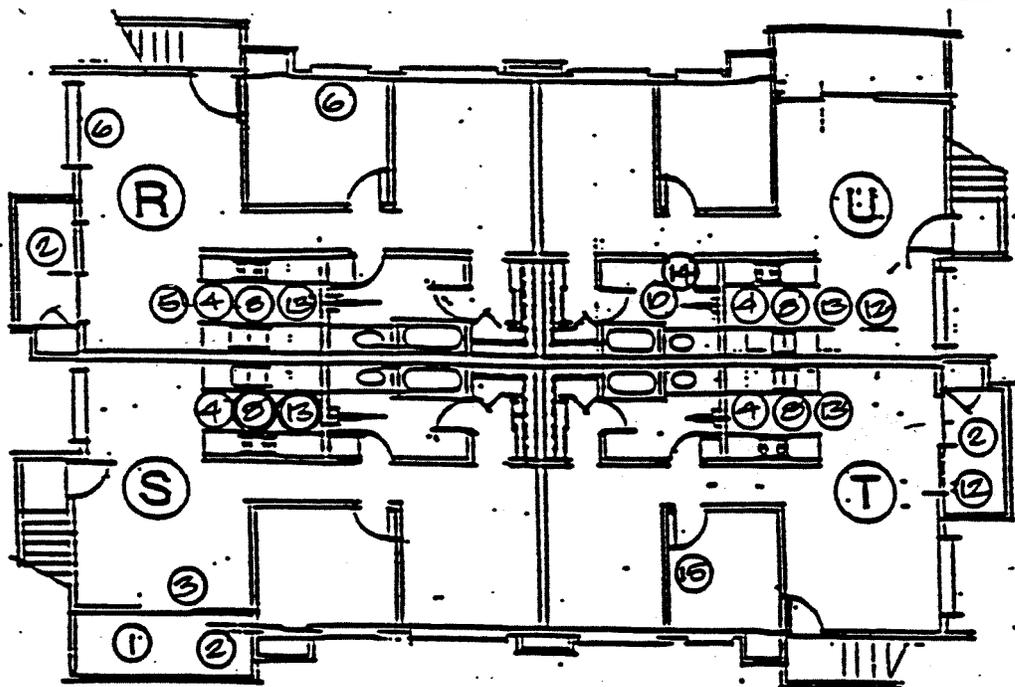


FIRST FLOOR PLAN
 SC: 1/16" = 1'-0"

- A1- P.Lam counter-top scarred.
- * Lower cabinets water damaged and finish mismatched at face.
- A2- Deck soffit edge trim separation. Caulk w/flexible sealant.
- A3- Sliding door screen damaged. Replace w/new pane.
- A4- Range top finish, paint worn at edge. Touch-up.
- A5- Deck soffit edge trim separation. Caulk w/flexible sealant.
- A6- Medicine cabinet mirror door finish pitted.
- * Upper cabinet doors above sink, edge conditions worn.
- A7- Mini blind blades bent. Replace damaged assembly unit w/new to match existing.
- A8- Window glass water stained.
- * Replacement may be desirable.

INCLUSION NOTE:

* Replacement may be desirable.

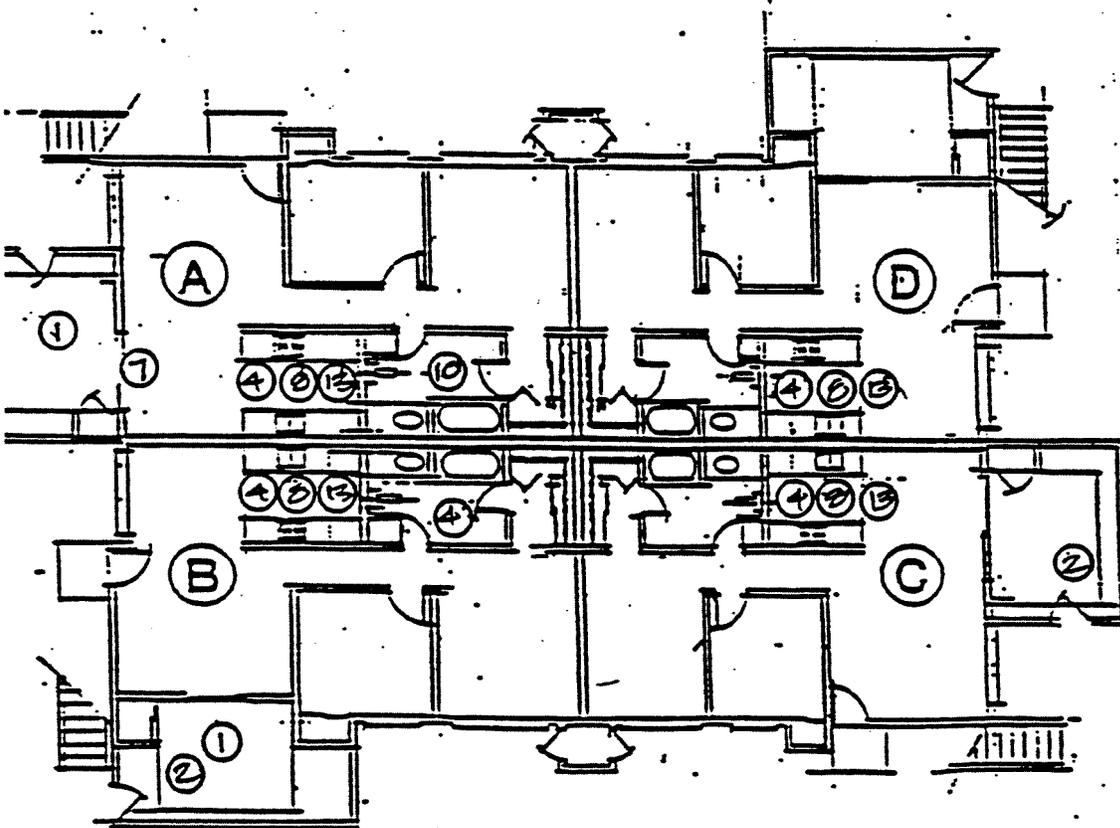


SECOND FLOOR PLAN
 SC: 1/16" = 1'-0"

INCLUSION NOTE:

* Replacement may be desirable.

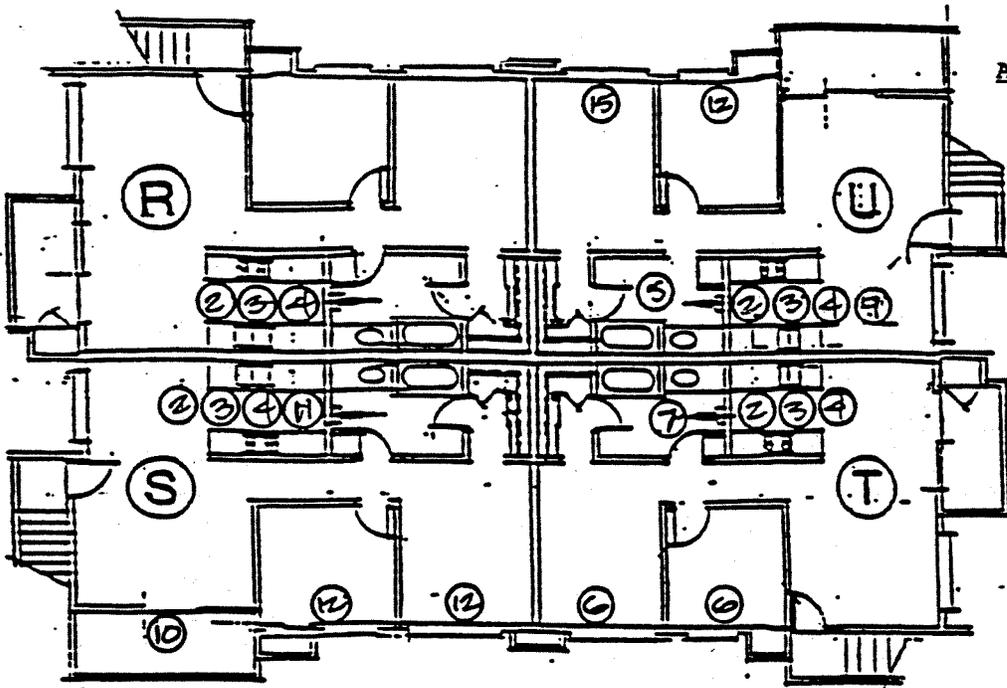
- A1- Touch-up paint at ceiling.
- A2- Wasp nest on Lanai exterior wall. Remove nest and touch-up paint to match existing.
- A3- Sliding door screen damaged. Replace w/new.
- A4- Lower cabinets water damaged and finish mismatched at face.
- A5- Patch scar in Gyp. Board wall and touch-up.
- A6- Mini Blind blades bent. Replace damage assembly unit w/new to match existing.
- A7- Sliding door screen latch does not engage. Repair or replace w/new to match existing.
- A8- Upper cabinet doors above sink, edge conditions worn.
- A9- Light diffuser lens cracked. Replace w/new to match existing.
- A10- Towel bar finish tarnished.
- A11- Deck soffit edge trim separation. Caulk w/flexible sealant.
- A12- Sliding door screen frame warped. Repair warped conditions.
- A13- P.Lam counter top scarred.
- A14- Patch Gyp. Board wall and touch-up paint to match existing.
- A15- Door stop hardware missing w/hole punctured in Gyp. Board wall. Install door stop and patch Gyp. Board wall to match existing.



FIRST FLOOR PLAN
 SC: 1/16" = 1'-0"

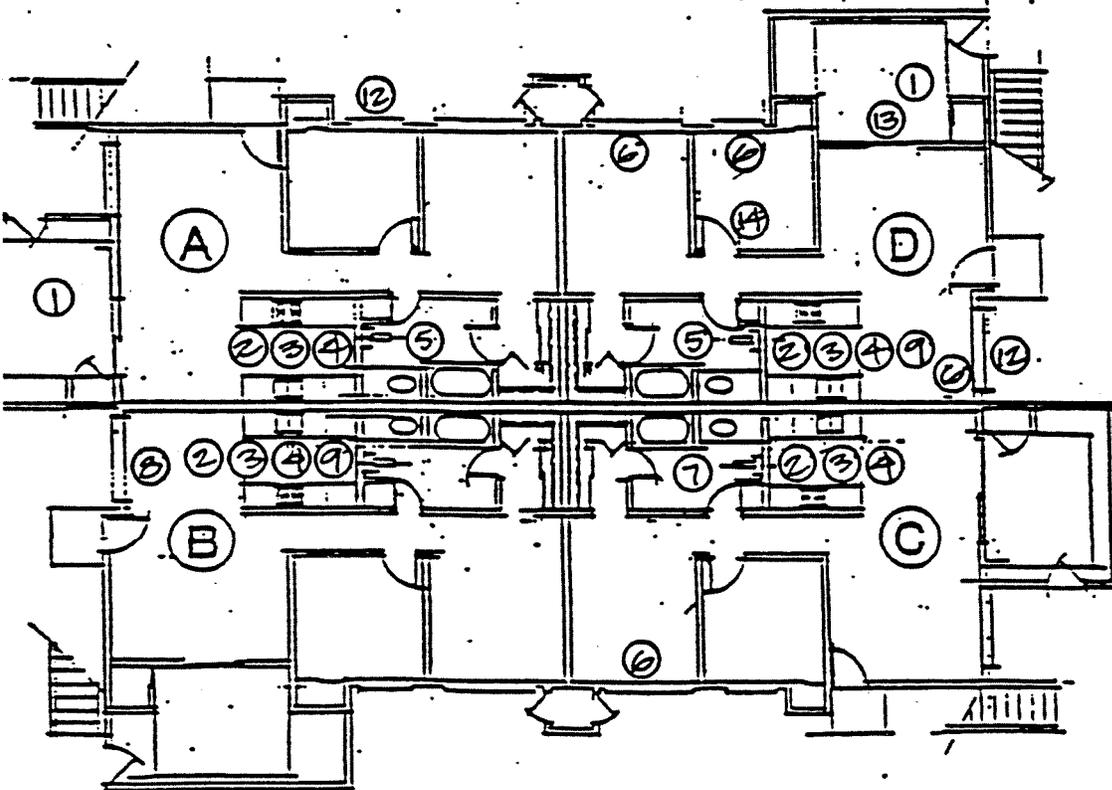
8-PLEX BUILDING #39
GENTRY SUNPOINT ALANEO

Architectural Interiors Comments



SECOND FLOOR PLAN
 SC: 1/16" = 1'-0"

- A1- Deck soffit edge trim separation caulk w/flexible sealant.
- A2- P.Lam counter top scarred.
- * A3- Lower cabinets water damaged at face condition.
- * A4- Upper cabinet doors above sink, edge condition worn. Replacement of cabinet doors may be necessary or add new corner protection guards.
- A5- Medicine cabinet mirror door finish pitted.
- * A6- Mini blind blades bent. Replace damaged assembly unit w/new to match existing.
- A7- Towel bar finish tarnished.
- * A8- Window glass water stained.
- * A9- Lower cabinets face mismatches.
- A10- Sliding door aluminum threshold pitted.
- * A11- Light diffuser lens cracked. Replace w/new to match existing.
- A12- Window screen frame pitted.
- * A13- Screen dock frame broken. Replace to match existing.
- A14- Door stop hardware missing. Replace w/n to match existing.
- A15- Window screen damaged. Replace w/new screen.

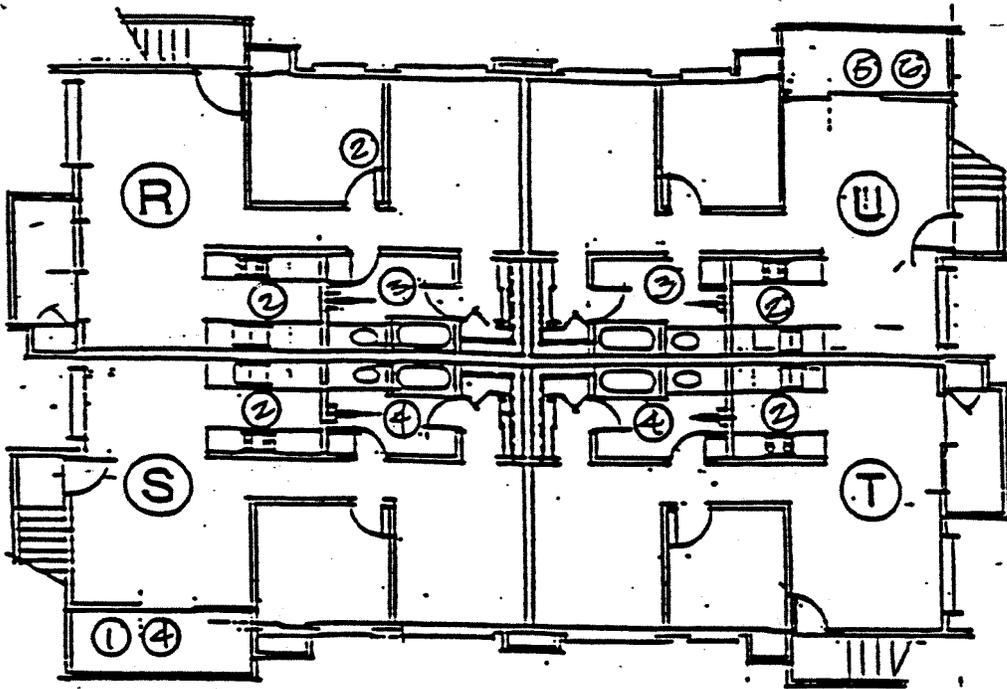


FIRST FLOOR PLAN
 SC: 1/16" = 1'-0"

INCLUSION NOTE:

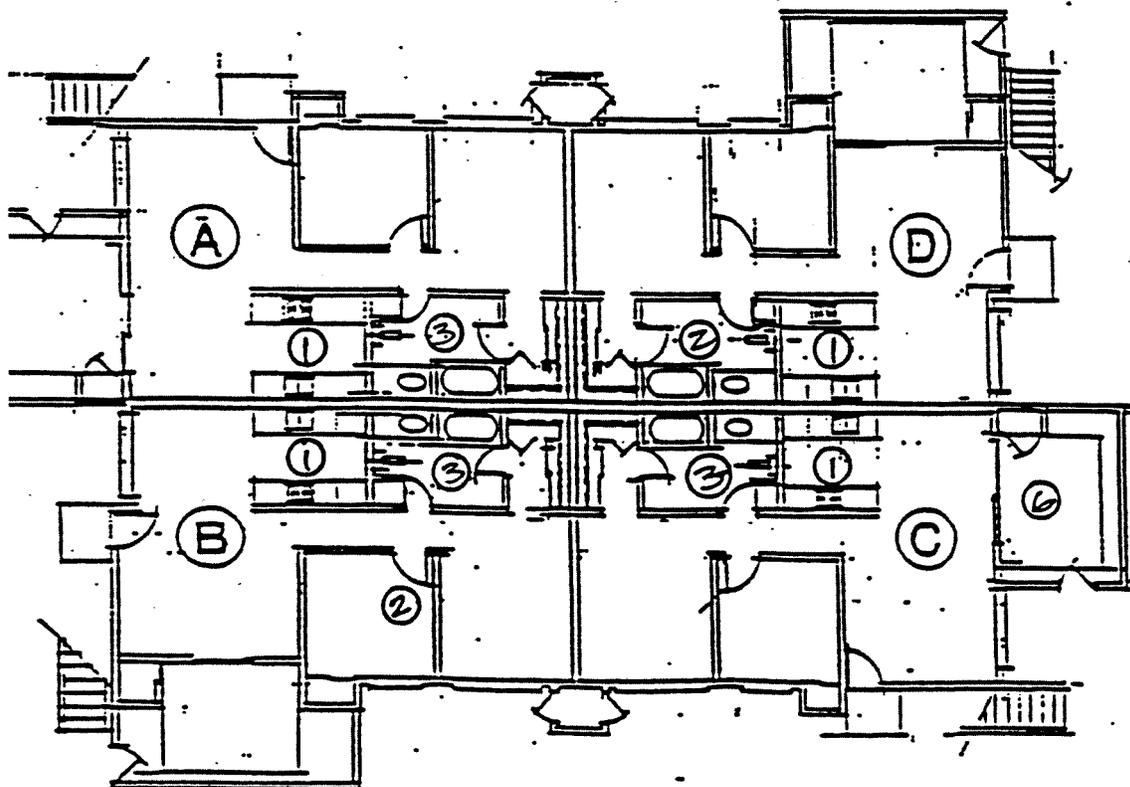
* Replacement may be desirable.

8-PLEX BUILDING #41
GENTRY SUNPOINT ALANEQ



SECOND FLOOR PLAN
 SC: 1/16" = 1'-0"

- A1- Lower cabinets water damaged and mismatched at face condition.
- * Door stop hardware missing with hole punctured in Gyp. Board wall. Install door stop and patch Gyp. Board wall, to match existing.
- A2- Towel bar finish tarnished.
- A3- Exterior wall dusty with accumulation of soot and minor paint peeling. Remove dust and loose paint. Prep wall and repaint to match existing.
- A4- Wasp nest on Lanai exterior wall. Remove nest and touch-up paint to match existing.
- A5-



FIRST FLOOR PLAN
 SC: 1/16" = 1'-0"

INCLUSION NOTE:

* Replacement may be desirable.

8-PLEX BUILDING #45
GENTRY SUNPOINT ALANEO

ARCHITECTURAL BUILDING MATERIAL
TYPICAL COMMENTS

1. Exterior siding at base of exterior wall water damaged. Replace w/new to match existing.
2. Roof shake material beginning to curl @ various conditions. Replace affected portions as required.
3. Eave ventilation screen corroded, rusted and rotted out. Replace as required to match existing.
4. Storage room and electrical enclosure room doors water damaged. Replace w/new to match existing.
5. Rusted nail heads telegraphing through paint finish. Remove and replace rusted nails as necessary. Touch-up paint.
6. Unit slab-on-grade crack observed w/+1/16" to 1/32" range. See structural portion of report for recommended fix.
7. Carport metal post and beam saddles w/rust spots. Remove rust to base metal spot prime and touch-up paint.
8. Underside of stair soffit water damaged. Replace if required to match existing.
9. Exterior paint blistered and peeling at various locations.
10. Exterior perimeter grade around building incurring ponding. Redirect swale to flow away from building.
11. Stair thread supports and lag screws rusting. Replace w/new as required.
12. Stair stringer @ bottom w/wood checks occurring due to water saturation build-up @ condition.
3. A.C. wall unit condensate drips w/outlet recesses adjacent to building footprint is not recommended. Due to potential termite infestation. Recommend condensate outlets be redirected away from building perimeter.
4. Window type A.C. unit supported by wood post resting and exterior grade installation not acceptable. Remove post from contact w/grade. Mount unit to window frame
5. Garage Roof. Fascia damaged. Replace w/new to match

ARCHITECTURAL SITE COMMENTS

1. Landscape light fixture damaged. Repair or replace w/new to match existing.
2. Repaint site handrails - TYPICAL
3. Bottom of rail post rusted. Remove rust treat & repaint.
4. Bottom of rail post rotted out replace damaged portions or replace w/new to match existing.
5. Sidewalk uplift and cracks cut and remove portion of aggressive tree roots as required. Reconstruct damaged portion of sidewalk to match existing.
6. Sewer clean out, projecting above sidewalk finish elevation. Lower cap or raise portion of sidewalk.
7. Mailbox post rusted and base plate rotted. Replace affected damaged portions, as required.
8. Stair thread corner chipped @ post mount condition. Patch & restore damaged portion as required.
9. Corner of sidewalk swale chipped, patch damaged portion as required.
10. Sidewalk uplift crack @ top of stair landing. Cut and remove aggressive tree roots as required. Reconstruct damaged portion of sidewalk to match existing.
11. Holes in existing concrete. Sidewalk finish. Patch as required.
12. Sidewalk settlement @ catch basin cold joint. Cut & remove aggressive tree roots as required. Reconstruct damaged portion of sidewalk to match existing.

KOKEA ENGINEERING, INC.

1602 Auiki Street, Bldg. A
Honolulu, Hawaii 96819
Phone: (808) 847-8875
Fax: (808) 842-4455

July 25, 1996

Sueda & Associates, Inc.
905 Makahiki Way, Mauka Suite
Honolulu, Hawaii 96826-2869

Attn: Mr. Robert Nitta

**Subject: Structural Report for the
GENTRY SUNPOINT-ALANEO COMPLEX**

Gentlemen:

Attached is a summary of the structural portion of the walk-thru inspection of 9 buildings of the SUNPOINT complex. In addition to the actual walk-thru of each unit within these buildings, we were able to review the construction plans for the typical 4-, 8-, and 12-plex buildings.

The report includes our recommendations for correcting those discrepancies noted. We have not concerned ourselves with recommendations for any upgrading work to comply with the current building code.

If you have any questions or need further clarification please do not hesitate to call me.

Sincerely,

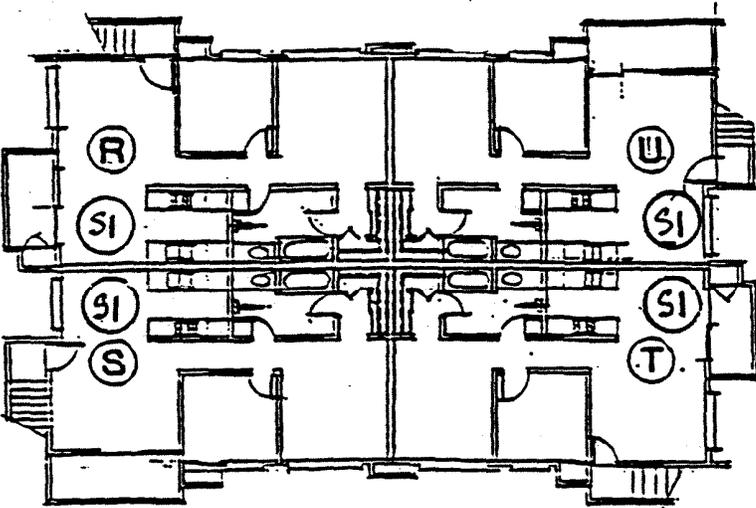
KOKEA ENGINEERING, INC.


Rodney T. Yamamoto
President

STRUCTURAL ASSESSMENT SUMMARY

The 9 buildings that were inspected were in very good structural condition. We did not observe any signs of cracking or separation. The typical structural conditions that require repair or reinforcement are as follows:

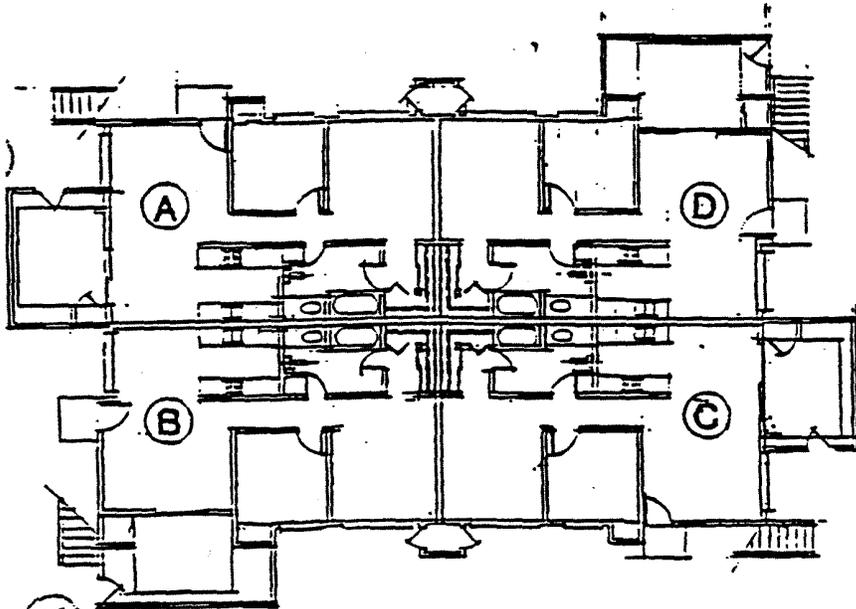
- 1) The built-up truss members at the ends of the buildings had been fastened by staples instead of metal connector plates. These staples may not provide sufficient uplift resistance in high wind conditions. There are already signs of excessive spreading at a few of the joint members. Our recommended reinforcement detail, shown in Sketch S-1, is to install 1/2" plywood gusset plates with 8-#12 screws into each 2 x 4.
- 2) A few of the exterior stair stringers had developed some rot damage when the wood rests on the concrete land slab. In these instances, there was some build-up of soil close to the wood. This build-up should be cleared away to permit the stringer ends to dry out. See photographs on S-2.
- 3) Although the exterior Cladwood siding is considered as an architectural element, we are concerned about the long term effect of the deterioration of this material. If no corrective work is done, structural wall base plates and studs may become susceptible to rot damage as well. We strongly recommend that corrective action be taken to repair the siding deterioration.
- 4) Open Carports - A number of 4 x 14 and 4 x 10 garage beams had large splits. These horizontal cracks are probably the result of using "green" lumber. If permitted to continue, such splitting may result in excessive deflection. We recommend that these beams be reinforced with lag screws to curtail further splitting. See detail on Sketch S-3.
- 5) Exterior Site Conditions - We observed a number of steel fence posts, sign posts and railing posts that were badly rusted. Due to the embedment of the posts and also to the exposure to the elements, such rusting must be anticipated. Routine maintenance work must be done to eliminate rust spots as soon as they are detected. This will prevent these spots from growing larger. We recommend that any embedded posts be set in concrete as shown in Sketch S-4. The concrete will minimize the exposure to moisture of the embedded portion of the post.



SECOND FLOOR PLAN
 SC: 1/16" = 1'-0"

STRUCTURAL COMMENTS

- S1 - Vertical members of built up end trusses have stapled connections. Reinforce per Sketch S-1.
- S2 - Underside of Unit S stair landing is sagging. Seal off water infiltration, repair and refinish.
- S3 - Rot damage to tops of rail cap. Patch or replace and refinish.
- S4 - Rusted base at steel railing of exterior step. Repair or replace to match.



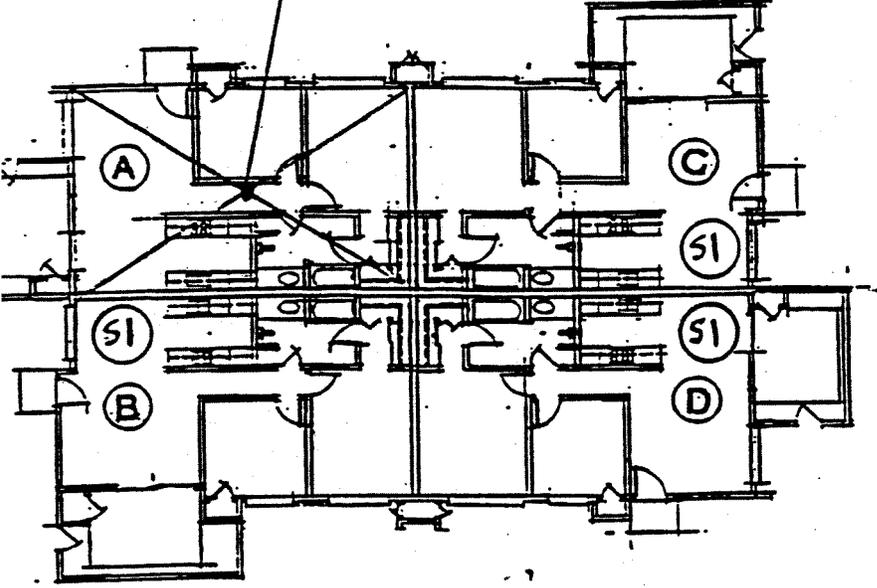
FIRST FLOOR PLAN
 SC: 1/16" = 1'-0"

8-PLEX BUILDING # 7
GENTRY SUNPOINT ALANEO
 SUEDA & ASSOCIATES, INC.

(S4)

(S3)

T ACCESSIBLE

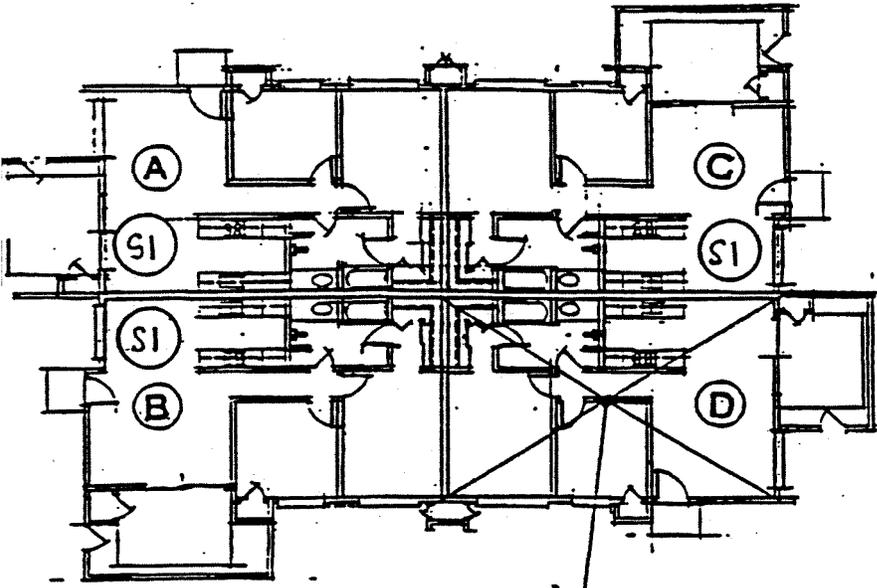


STRUCTURAL COMMENTS

S1 - Vertical members of built up end trusses have stapled connections. Reinforce per Sketch S-1.

FIRST FLOOR PLAN
SC: 1/16" = 1'-0"

4-PLEX BUILDING # 8
GENTRY SUNPOINT ALANEO
SUEDA & ASSOCIATES, INC.

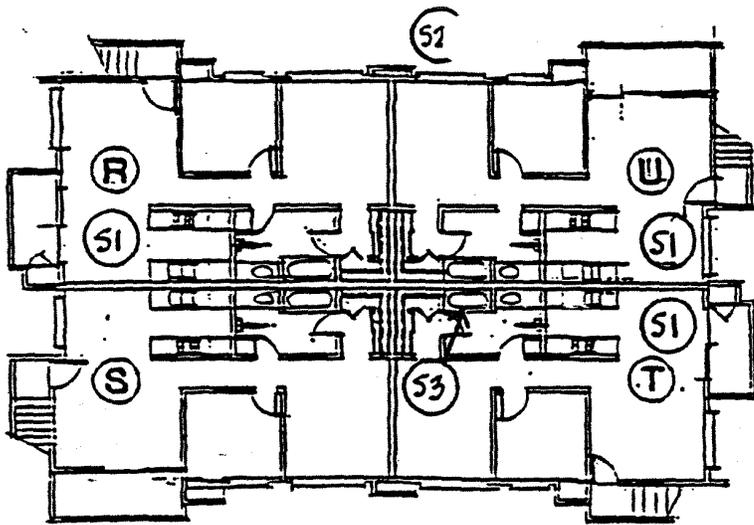


STRUCTURAL COMMENTS

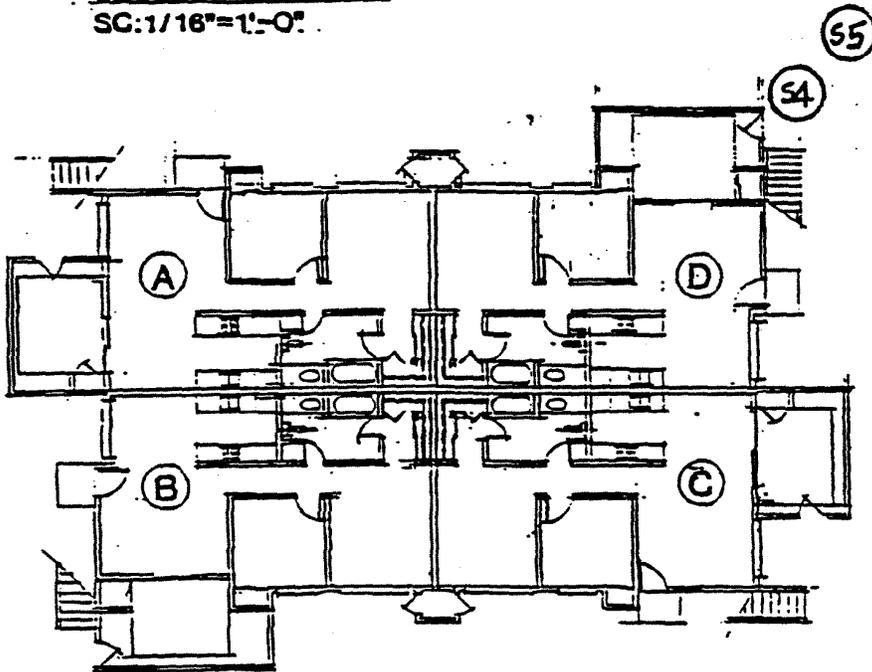
- S1 - Vertical members of built up end trusses have stapled connections. Reinforce per Sketch S-1.
- S2 - Carport: Splits in 4X10beams Install lag screws per Sketch S-3.

FIRST FLOOR PLAN
SC: 1/16"=1'-0"

4-PLEX BUILDING # 12
GENTRY SUNPOINT ALANEO
 SUEDA & ASSOCIATES, INC.



SECOND FLOOR PLAN
 SC: 1/16" = 1'-0"

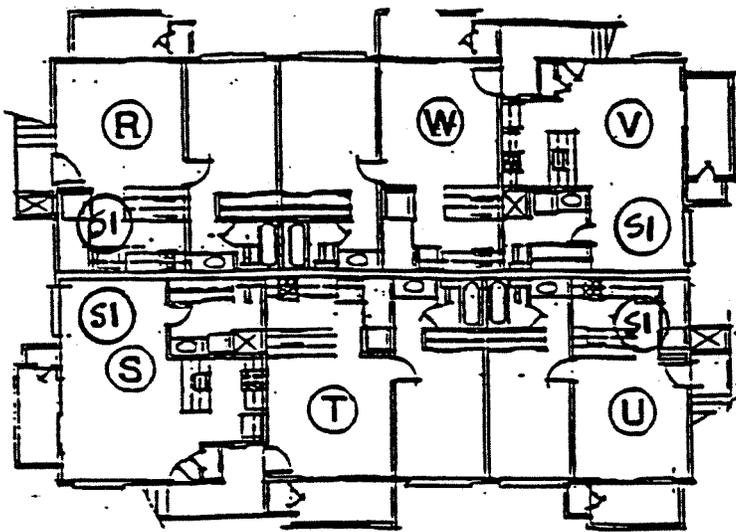


FIRST FLOOR PLAN
 SC: 1/16" = 1'-0"

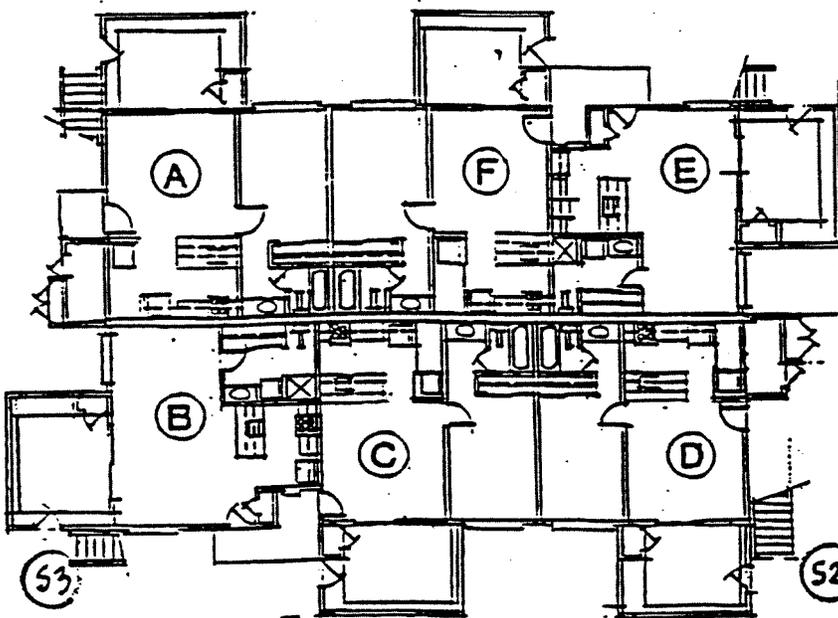
8-PLEX BUILDING # 16
GENTRY SUNPOINT ALANEO
 SUEDA & ASSOCIATES, INC.

STRUCTURAL COMMENTS

- S1 - Vertical members of built up end trusses have stapled connections. Reinforce per Sketch S-1.
- S2 - Large birdnest observed. Remove debris from attic space and seal access openings at vents.
- S3 - Cracked 2'X2' section of gypboard at underside of rafter. Patch with 5/8" Type "X" material.
- S4 - Rusted fence post. Replace per Sketch S-4.
- S5 - Rot damaged wooden post for sign. Replace with new wood, wrapped with 30# felt and embedded in concrete (similar to Sketch S-4).
- S6 - Carport: Splits in 4X10 and 4X14 beams. Install lag screws @ 24" o.c. per Sketch S-3.



SECOND FLOOR PLAN
 SC: 1/16" = 1'-0"



FIRST FLOOR PLAN
 SC: 1/16" = 1'-0"

12-PLEX BUILDING # 24
GENTRY SUNPOINT ALANEO
 SUEDA & ASSOCIATES, INC.

STRUCTURAL COMMENTS

- S1 - Vertical members of built up end trusses have stapled connections. Reinforce per Sketch S-1.
- S2 - Bottom portion of stair stringer is split. Presently, it is not a problem. If splitting extends beyond 4', either reinforce by scabbing on another section of stringer or install lag screws per Sketch S-3.
- S3 - Bottom stair stringer is in contact with soil. Clear away soil to prevent rot damage and to eliminate accessway for termites.
- S4 - Shrinkage cracks in sidewalk. See Architectural report.
- S5 - Rusted bracket at exterior stair railing. Clean off rust and refinish.

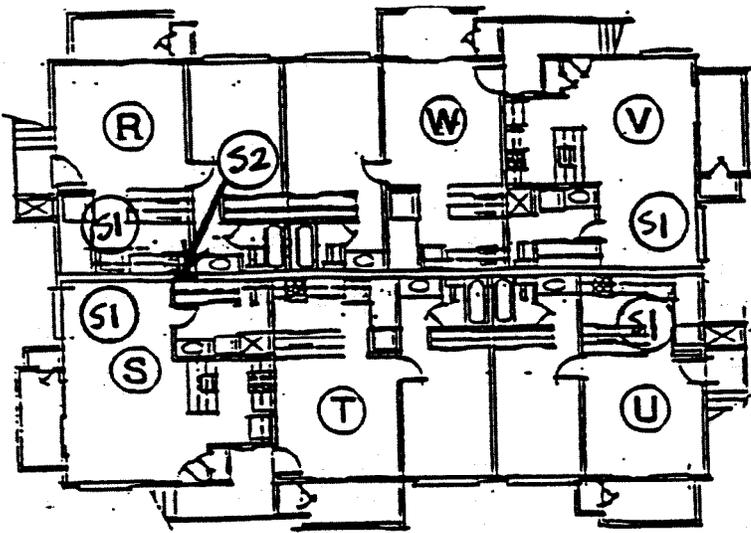
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52

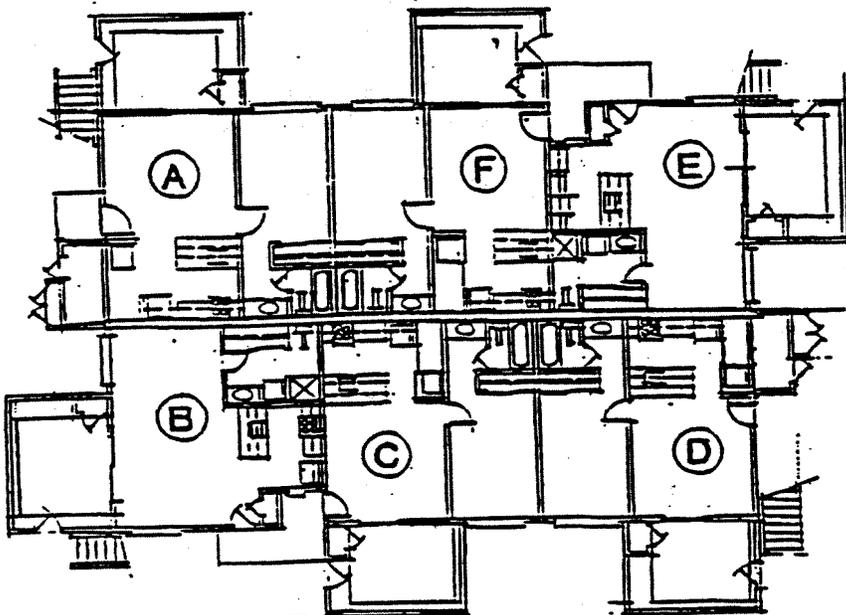
53

STRUCTURAL COMMENTS

- S1 - Vertical members of built up end trusses have stapled connections. Reinforce per Sketch S-1.
- S2 - Missing 2'x4' section of gypboard at demising wall in ceiling. Probably removed by cable installer (telephone or TV). Replace with new.
- S3 - Rusted railing at exterior steps. Repair or replace as needed.

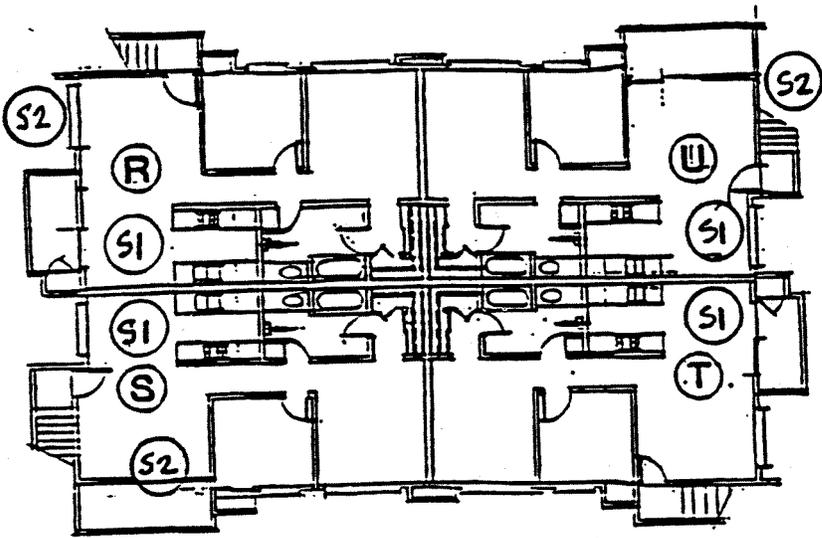


SECOND FLOOR PLAN
SC: 1/16" = 1'-0"

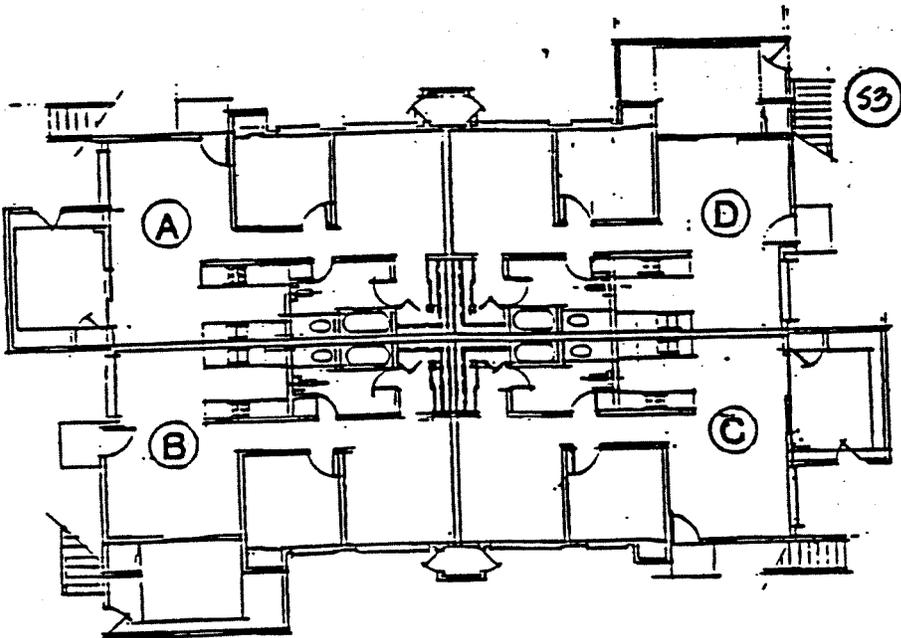


FIRST FLOOR PLAN
SC: 1/16" = 1'-0"

12-PLEX BUILDING # 33
GENTRY SUNPOINT ALANEO
SUEDA & ASSOCIATES, INC.



SECOND FLOOR PLAN
 SC: 1/16" = 1'-0"

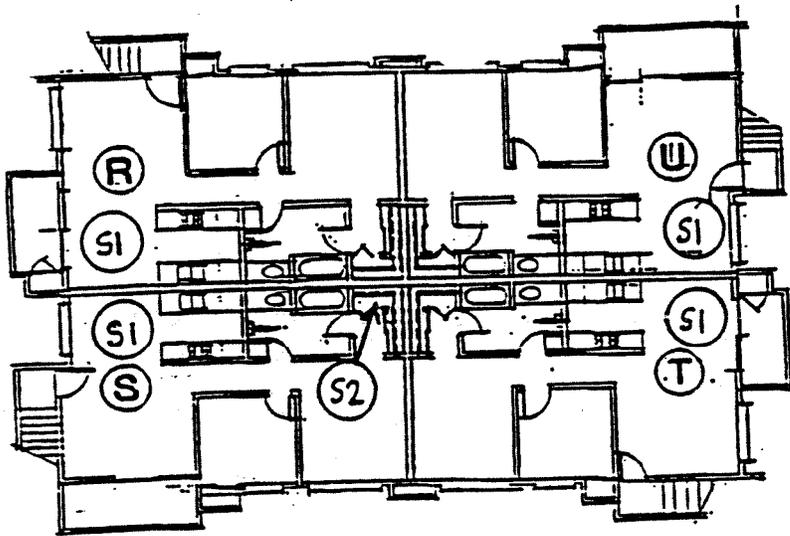


FIRST FLOOR PLAN
 SC: 1/16" = 1'-0"

8-PLEX BUILDING # 39
GENTRY SUNPOINT ALANEO
 SUEDA & ASSOCIATES, INC.

STRUCTURAL COMMENTS

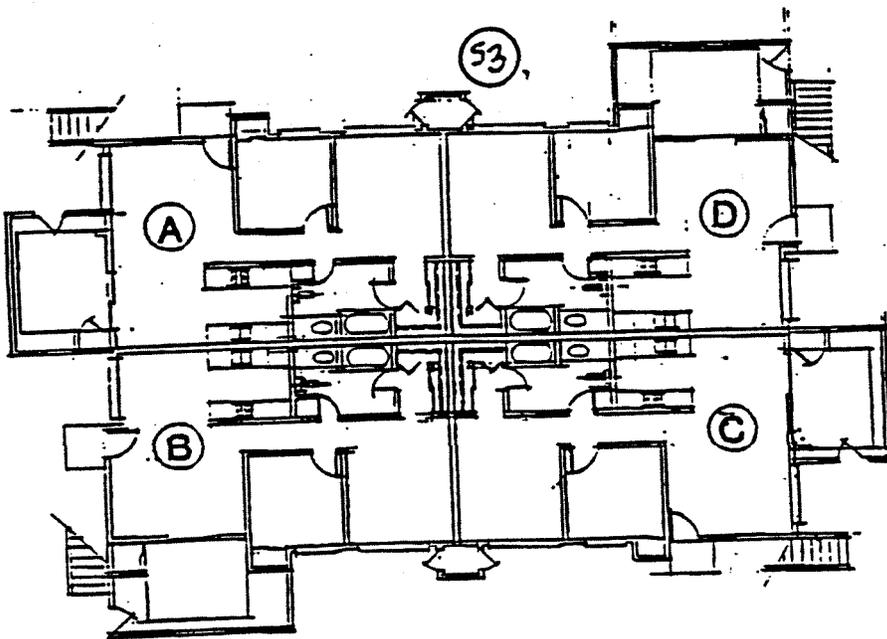
- S1 - Vertical members of built up end trusses have stapled connections. Reinforce per Sketch S-1.
- S2 - Large birdnest observed. Remove debris from attic space and seal access openings at vents.
- S3 - Stair tread support angles rusted. Clean and repaint or replace.
- S4 - Carport: Remove birdnest accumulation and seal openings. Repair splits in 4X10 beams with lag screws per Sketch S-3.



SECOND FLOOR PLAN
 SC: 1/16" = 1'-0"

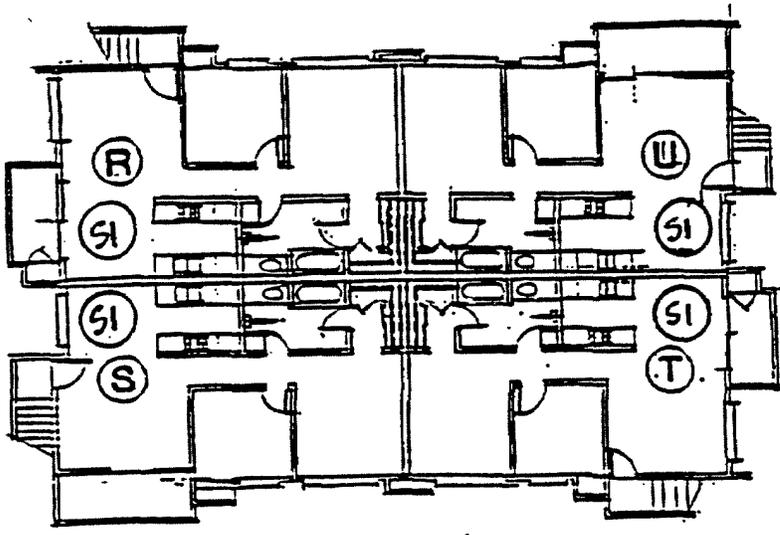
STRUCTURAL COMMENTS

- S1 - Vertical members of built up end trusses have stapled connections. Reinforce per Sketch S-1.
- S2 - Access panel cracked at scuttle. Replace with new.
- S3 - Large birdnest in heater storage room. Remove debris and seal off access.
- S4 - Carport: Splits in 4X10 beams. Install lag screws per Sketch S-3.



FIRST FLOOR PLAN
 SC: 1/16" = 1'-0"

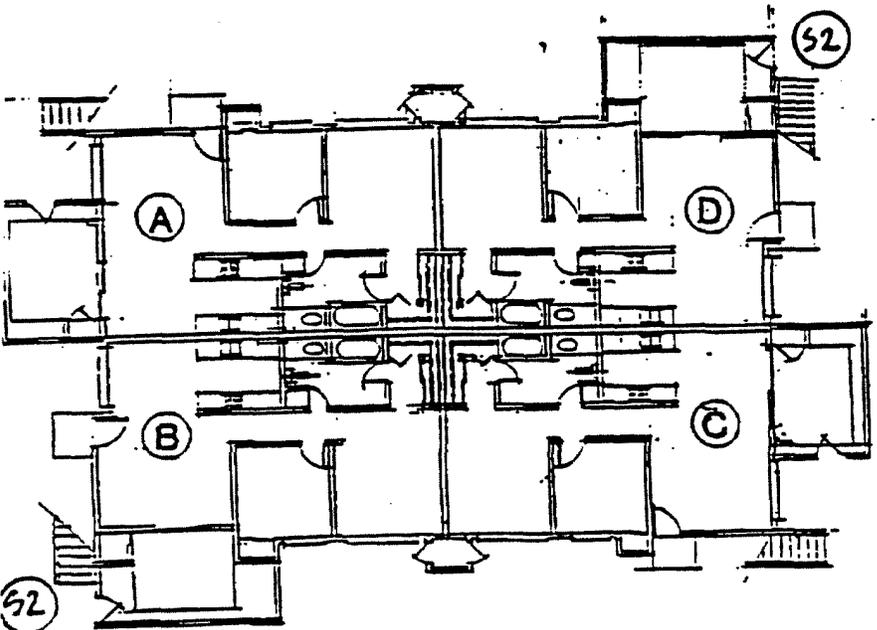
8-PLEX BUILDING # 41
GENTRY SUNPOINT ALANEO
 SUEDA & ASSOCIATES, INC.



STRUCTURAL COMMENTS

- S1 - Vertical members of built up end trusses have stapled connections. Reinforce per Sketch S-1.
- S2 - Minor rot damage at bottom of stair stringers. Treat with mildewcide and clear away soil accumulation around wood.
- S3 - Carport: Splits in 4X10 beams. Install lag screws @ 24" o.c. per Sketch S-3.

SECOND FLOOR PLAN
SC: 1/16" = 1'-0"



FIRST FLOOR PLAN
SC: 1/16" = 1'-0"

8-PLEX BUILDING # 45
GENTRY SUNPOINT ALANEO
SUEDA & ASSOCIATES, INC.



PREPOSE ENGINEERING SYSTEMS, INC.
Mechanical Engineering
1314 S. King St., Suite 860, Honolulu, Hawaii 96814
Tel: (808) 591-8175 Fax: (808) 596-0479

MECHANICAL ASSESSMENT

PROJECT: Gentry Sunpoint Alaneo

Observations of Existing Conditions:

The existing mechanical items were assessed by observation and no destructive investigation was done during our walk-thru of the units that were randomly selected. Our observations included the visual conditions of the following:

1. Kitchen sink and faucet.
2. Kitchen sink disposal.
3. Kitchen range hood.
4. Water closet and seat.
5. Lavatory and faucet.
6. Shower tub, surround and shower valve trim.
7. Bathroom exhaust fan.
8. Heaters, heater flue and heater room.
9. Exterior above ground gas piping.
10. Pressure reducer valve and box.

Kitchen Sink and Faucet:

The existing sinks are single compartment stainless steel, 25" x 22", with Moen single lever handles. Most sinks are in good condition but most faucets are water stained around the escutcheon plates and some faucets are showing pitting of the chrome finish.

Kitchen Sink Disposal:

The original disposals are Whirlaway with a 1/2 hp motor and stainless steel impeller. Most of the units have the original disposal and most are noisy and vibrate excessively. Some of the units have the replacement ISE Badger with 1/2 hp motor. Very few units have the Emerson with 1/2 hp disposal.

Kitchen Range Hood:

The range hoods are in good condition. The hoods are Broan 41000E with white enamel finish. The hoods are recirculating type with two speed fan and light.

Water Closet:

The existing water closets are tank type Crane N550 with round bowl. Most of the toilets are in good condition with slight water stains. There are a few toilets with excessive stains.

Lavatory Faucets:

The lavatories are under counter type, 18" x 16", with Moen single handle faucet and pop-up drain. Most lavatories have lost their polished finish and have water stains around the faucets and at the drain. There are a few lavatories with excessive stains and most faucets are water stained and show signs of the chrome finish pitting.

Shower Tub and Trims:

The existing shower tubs and surround are acrylic type. The surround is the three piece type with caulking at joints. Some of the joint caulking is coming apart from the tub surround. The shower valves are single lever type with diverter spout and shower head. The valve assembly shows signs of the chrome finish pitting and some of the valves are badly water stained and lost their luster. Some of the unit tenants have replaced the shower heads with hand held type showers.

Bathroom Exhaust Fans:

The exhaust fans are ceiling type and are interlocked with the light switch. Most of the fans are in good condition but some are noisy and slow to start. The fans are ducted through roof. There are flex ducts from the fans to sheet metal ducts through roof. Each unit have separate roof jacks.

Heaters and Flue:

The heaters are gas fired, State PRV-40 NRT4N, 40 gallons and 32,000 BTUH input. The heaters are in good condition. There were a couple of loose connectors between the flue and heater. The heater rooms and heater room screens need cleaning and debris removed.

Exterior Gas Piping:

The above ground gas piping at the gas meter and gas header are corroding because they have not been painted for some time.

Pressure Reducer:

Each unit has a separate pressure reducer located in a valve box. The valve boxes are filled with dirt which covers the pressure reducer completely.

Fire Extinguisher:

There are fire extinguishers with cabinets located outside at the main entry to each unit. The fire extinguishers were last tested in November 1995. The extinguishers and cabinet are in good condition.

Water Piping:

The water piping is copper and goes underground to each unit. There have been some underground leaks which have been replaced with overhead polyethylene piping.

Dryer Exhaust:

The dryers are exhausted individually through the roof. The ducts in the roof attic space are galvanized sheet metal and in good condition.

Recommendations:

Our recommendations are not absolute. Most of the plumbing fixtures have not been cleaned properly, therefore to fully assess the fixtures they should be cleaned to determine if the stains are removable. Replacement fixtures and trims should be low flow type.

The following are our recommendations:

Kitchen Sink and Faucet:

The stainless steel sinks should be cleaned and repolished. The faucets should be replaced if they cannot be cleaned and new strainer cups provided.

Kitchen Sink Disposal:

The original Whirlaway and Emerson disposals should be replaced with new disposals. The ISE Badger seemed to be a good value replacement.

Kitchen Range Hood:

The hoods should be cleaned and the filters washed. The charcoal filter should be replaced.

Water Closet:

The toilets that are in good condition should be cleaned and polished and the seats replaced with new seats. The toilets that are badly stained should be replaced with new.

Lavatory and Faucet:

Most of the lavatories are stained and lost their luster, therefore, we recommend that the fixtures and faucets be replaced with new fixtures if the stains cannot be removed and/or the luster restored.

Shower Tub and Trims:

The shower tubs and surrounds should be cleaned and polished. The shower valves and trims should be replaced with new valves and trims. The new valves should be single handle pressure balancing type. The drains should be checked for defective motors.

Bathroom Exhaust Fans:

Exhaust Fans should be cleaned, serviced and lubricated. Noisy fans should be repaired and the show starting fans should be checked for defective motors.

Heaters and Flue:

The heaters should be checked and their anodes replaced and the gas

valve and mechanism checked and repaired as required. The heater rooms and screens should be cleaned. The flues should be checked for proper connection to heater.

Exterior Gas Piping:

The rusted gas piping should be cleaned of rust or replaced and primed and painted with two coats of polyurethane paint.

Pressure Reducer:

The valve boxes should be cleaned of debris and the pressure reduced exposed. The bottom of the valve boxes should be filled with gravel.

Dryer Exhaust:

The dryers should be disconnected and the ducts cleaned to remove lint that has accumulated in the ductwork.

Water Piping:

Because some of the pipes have been replaced with overhead polyethylene pipe, Management should identify the units with the replacement pipes.

MECHANICAL INDEX

- M1 - Replace faucet. Faucet chrome pitted and corroded. Clean and polish kitchen sink.
- M2 - Replace garbage disposal. Unit vibrates or grinding noise.
- M3 - Clean kitchen hood and wash filter. Hood generally in good condition.
- M4 - Replace water closet if necessary. Toilet badly stained. Clean water closet.
- M5 - Clean water closet and change seat. Water closet only slightly stained.
- M6 - Replace lavatory and faucet if cannot be cleaned. Lavatory badly stained and faucet corroded.
- M7 - Clean and polish lavatory and faucet. Lavatory in good condition.
- M8 - Replace lavatory faucet. Faucet corroded.
- M9 - Replace missing lavatory pop-up.
- M10 - Clean and polish tub and surround. Recaulk tub surround.
- M11 - Clean and polish tub shower valve assembly.
- M12 - Replace shower valve assembly. Shower valve assembly corroded.
- M13 - Replace missing shower head.
- M14 - Paint exterior gas piping meter header assembly.
- M15 - Attach heater flue to heater. Loose flue.
- M16 - Cleanout Heater Rooms.
- M17 - Cleanout pressure reducer water valve box. Valve box filled with dirt.
- M18 - Check and replace bath exhaust. Fan does not run or rattles or slow to start.

Mechanical Index of Notes:

M1 - Replace faucet. Faucet chrome pitted and corroded. Clean and polish kitchen sink.

M3 - Clean kitchen hood and wash filter. Hood generally in good condition.

M5 - Clean water closet and change seat. Water closet only slightly stained.

M6 - Replace lavatory and faucet if cannot be cleaned. Lavatory badly stained and faucet corroded.

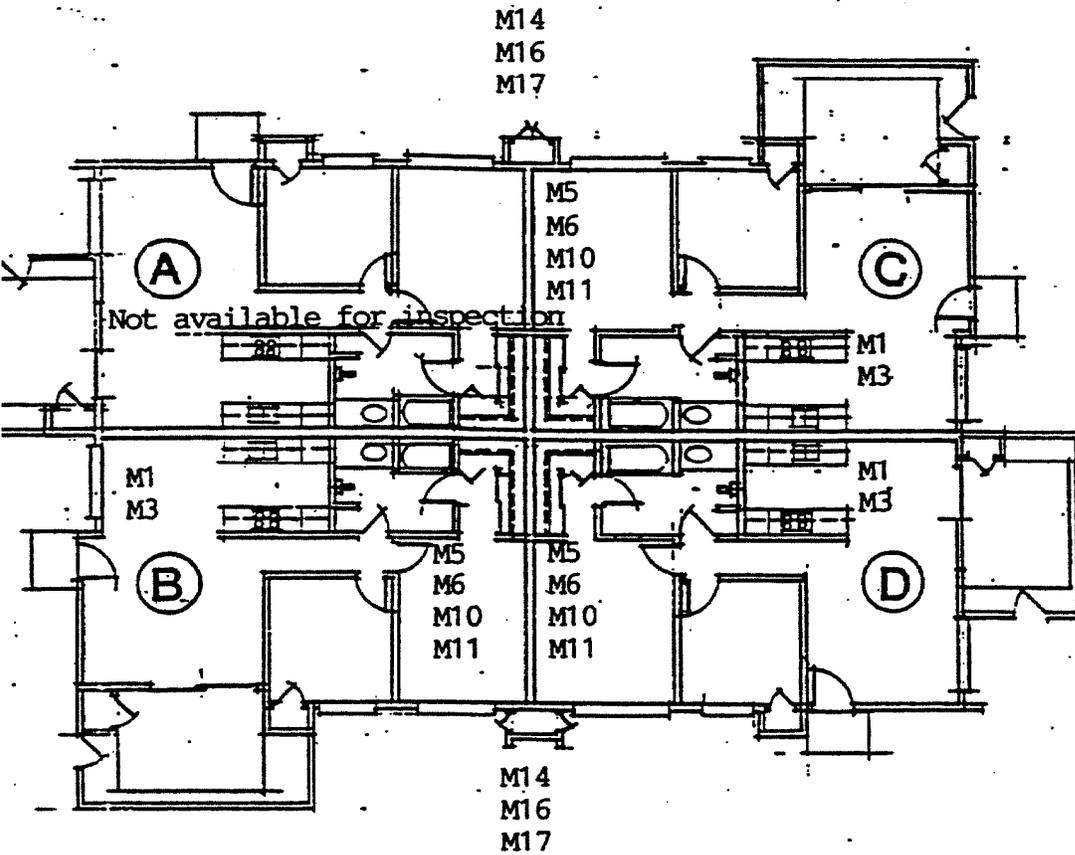
M10 - Clean and polish tub and surround. Recaulk tub surround.

M11 - Clean and polish tub shower valve assembly. —

M14 - Paint exterior gas piping meter header assembly.

M16 - Cleanout Heater Rooms.

M17 - Cleanout pressure reducer water valve box. Valve box filled with dirt.



FIRST FLOOR PLAN
SC: 1/16" = 1'-0"

Mechanical Index of Notes:

M1 - Replace faucet. Faucet chrome pitted and corroded. Clean and polish kitchen sink.

M2 - Replace garbage disposal. Unit vibrates or grinding noise.

M3 - Clean kitchen hood and wash filter. Hood generally in good condition-

M4 - Replace water closet if necessary. Toilet badly stained. Clean water closet.

M5 - Clean water closet and change seat. Water closet only slightly stained.

M6 - Replace lavatory and faucet if cannot be cleaned. Lavatory badly stained and faucet corroded.

M7 - Clean and polish lavatory and faucet. Lavatory in good condition.

M8 - Replace lavatory faucet. Faucet corroded.

M10 - Clean and polish tub and surround. Recaulk tub surround.

M11 - Clean and polish tub shower valve assembly.

M12 - Replace shower valve assembly. Shower valve assembly corroded.

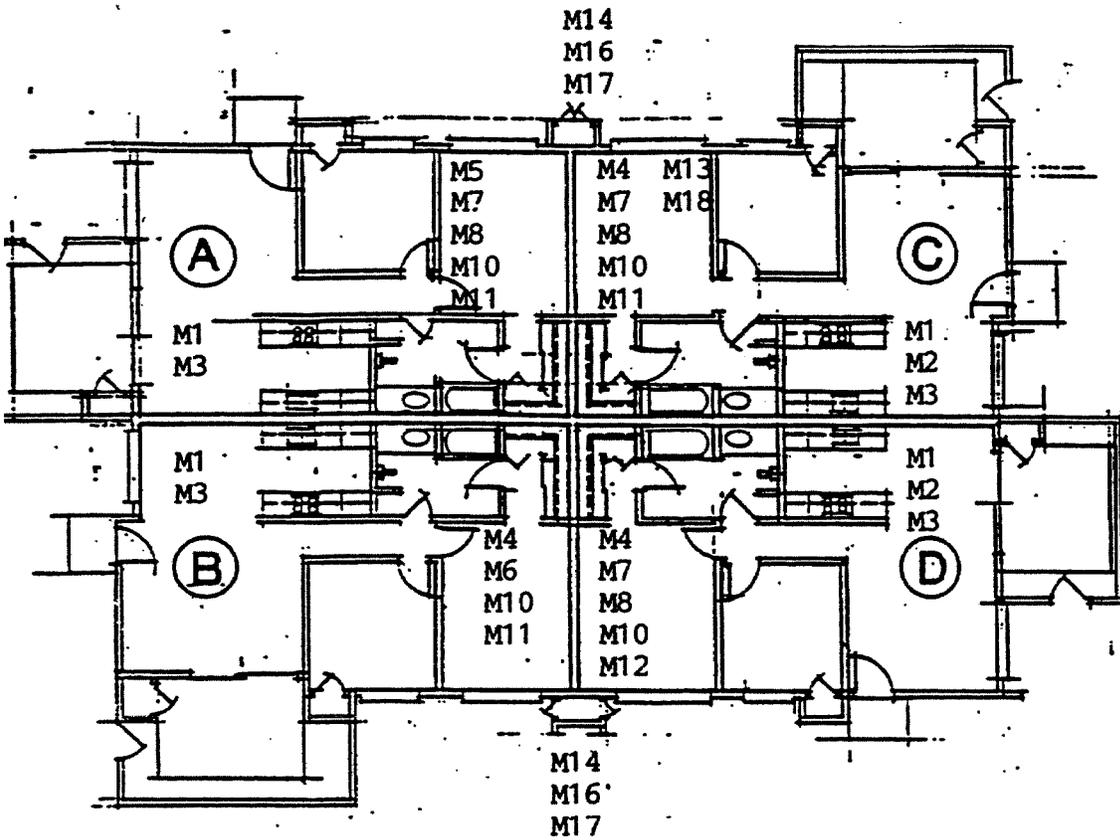
M13 - Replace missing shower head.

M14 - Paint exterior gas piping meter header assembly.

M16 - Cleanout Heater Rooms.

M17 - Cleanout pressure reducer water valve box. Valve box filled with dirt.

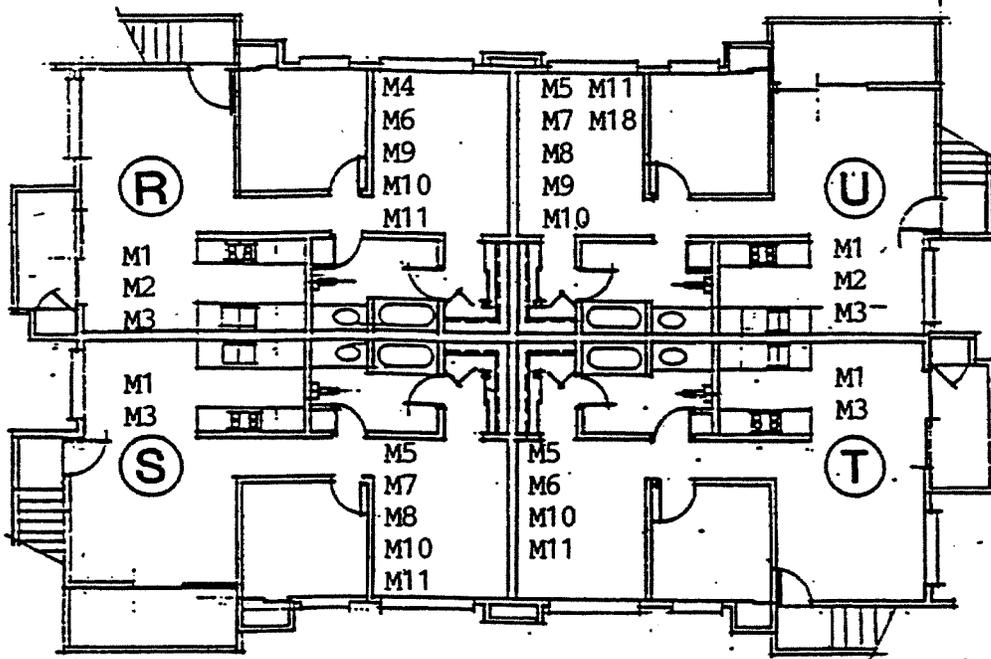
M18 - Check and replace bath exhaust. Fan does not run or rattles or slow to start.



FIRST FLOOR PLAN
SC: 1/16" = 1'-0"

4-PLEX BUILDING #12
GENTRY SUNPOINT ALANEO

SUEDA & ASSOCIATES, INC.



Mechanical Index of Notes:

M1 - Replace faucet. Faucet chrome pitted and corroded. Clean and polish kitchen sink.

M2 - Replace garbage disposal. Unit vibrates or grinding noise.

M3 - Clean kitchen hood and wash filter. Hood generally in good condition.

M4 - Replace water closet if necessary. Toilet badly stained. Clean water closet.

M5 - Clean water closet and change seat. Water closet only slightly stained.

M6 - Replace lavatory and faucet if cannot be cleaned. Lavatory badly stained and faucet corroded.

M7 - Clean and polish lavatory and faucet. Lavatory in good condition.

M8 - Replace lavatory faucet. Faucet corroded.

M9 - Replace missing lavatory pop-up.

M10 - Clean and polish tub and surround. Recaulk tub surround.

M11 - Clean and polish tub shower valve assembly.

M12 - Replace shower valve assembly. Shower valve assembly corroded.

M14 - Paint exterior gas piping meter header assembly.

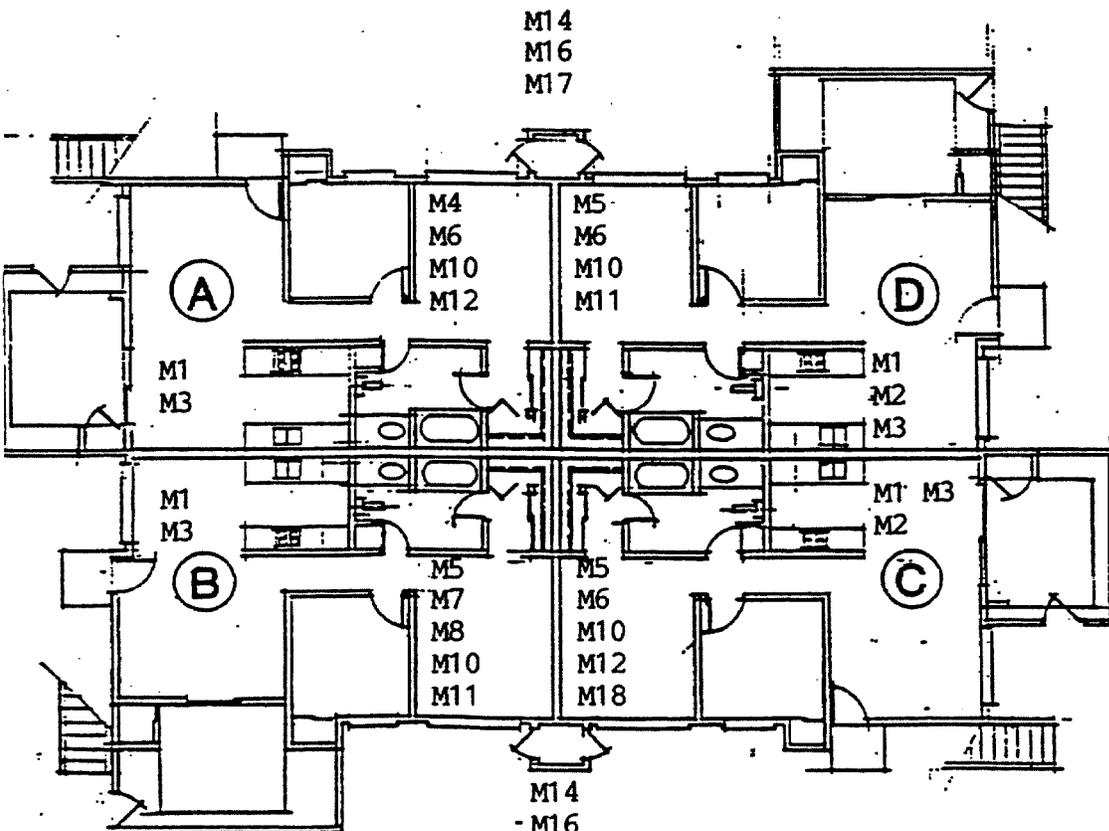
M16 - Cleanout Heater Rooms.

M17 - Cleanout pressure reducer water valve box. Valve box filled with dirt.

M18 - Check and replace bath exhaust. Fan does not run or rattles or slow to start.

SECOND FLOOR PLAN

SC: 1/16" = 1'-0"

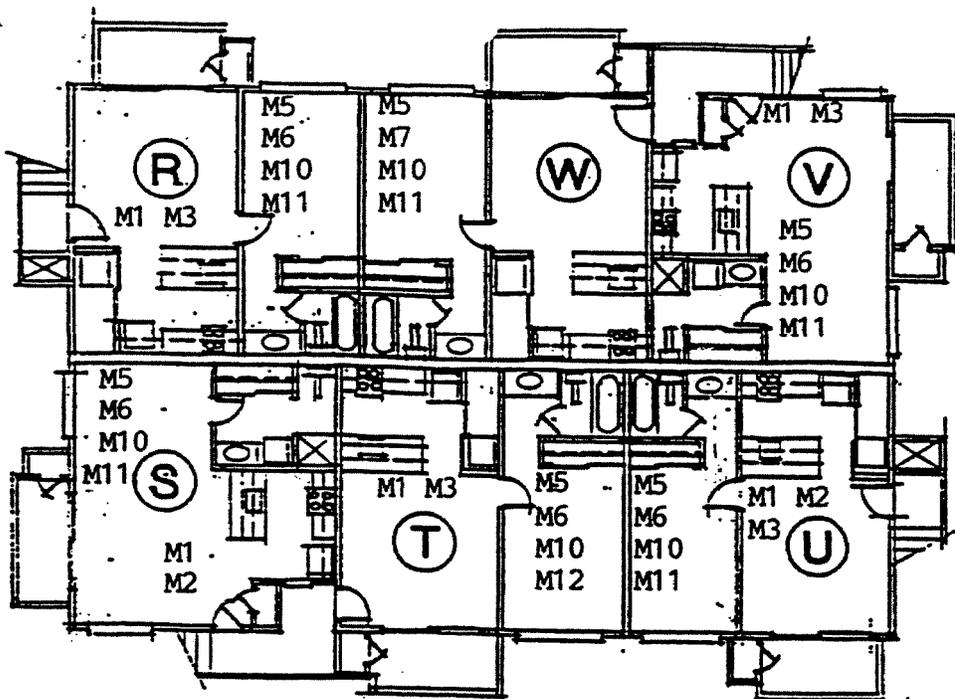


FIRST FLOOR PLAN

SC: 1/16" = 1'-0"

**8-PLEX BUILDING #16
GENTRY SUNPOINT ALANEO**

SUEDA & ASSOCIATES, INC.



SECOND FLOOR PLAN
 SC: 1/16" = 1'-0"

Note: Straighten flex duct for exhaust fan in Unit "U".

Mechanical Index of Notes:

M1 - Replace faucet. Faucet chrome pitted and corroded. Clean and polish kitchen sink.

M2 - Replace garbage disposal. Unit vibrates or grinding noise.

M3 - Clean kitchen hood and wash filter. Hood generally in good condition.

M4 - Replace water closet if necessary. Toilet badly stained. Clean water closet.

M5 - Clean water closet and charge seat. Water closet only slightly stained.

M6 - Replace lavatory and faucet if cannot be cleaned. Lavatory badly stained and faucet corroded.

M7 - Clean and polish lavatory and faucet. Lavatory in good condition.

M10 - Clean and polish tub and surround. Recaulk tub surround.

M11 - Clean and polish tub shower valve assembly.

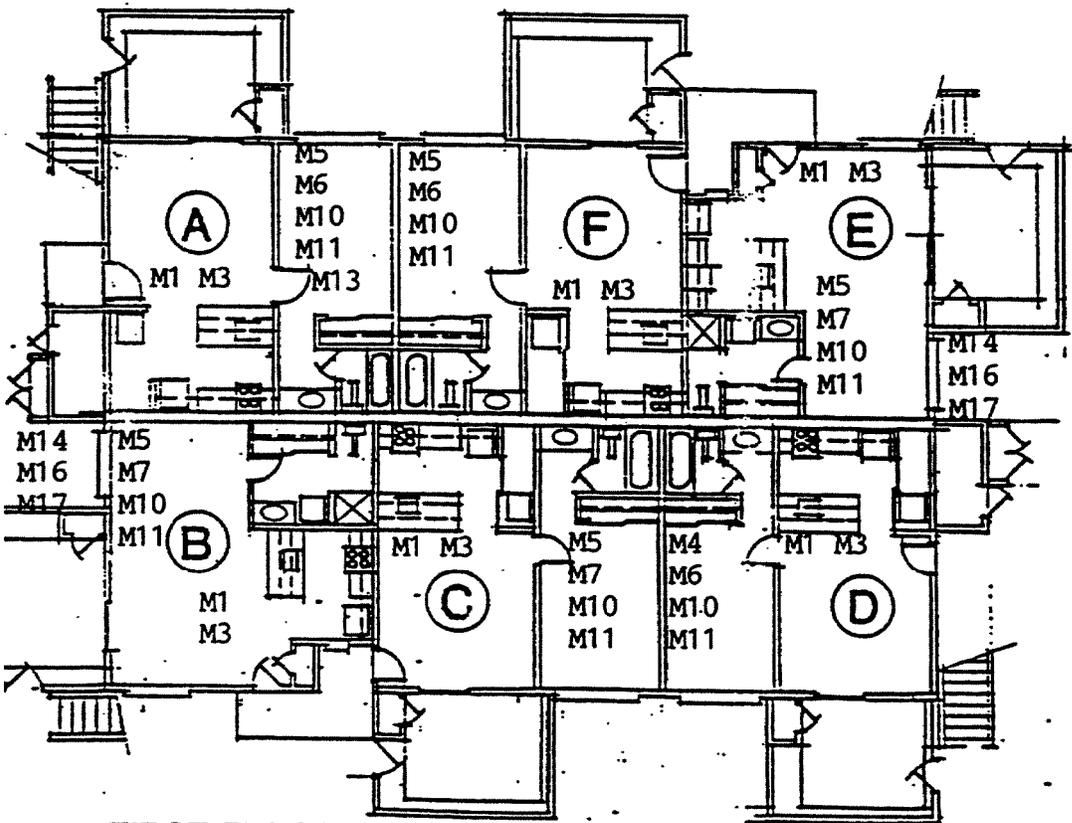
M12 - Replace shower valve assembly. Shower valve assembly corroded.

M13 - Replace missing shower head.

M14 - Paint exterior gas piping meter header assembly.

M16 - Cleanout Heater Rooms.

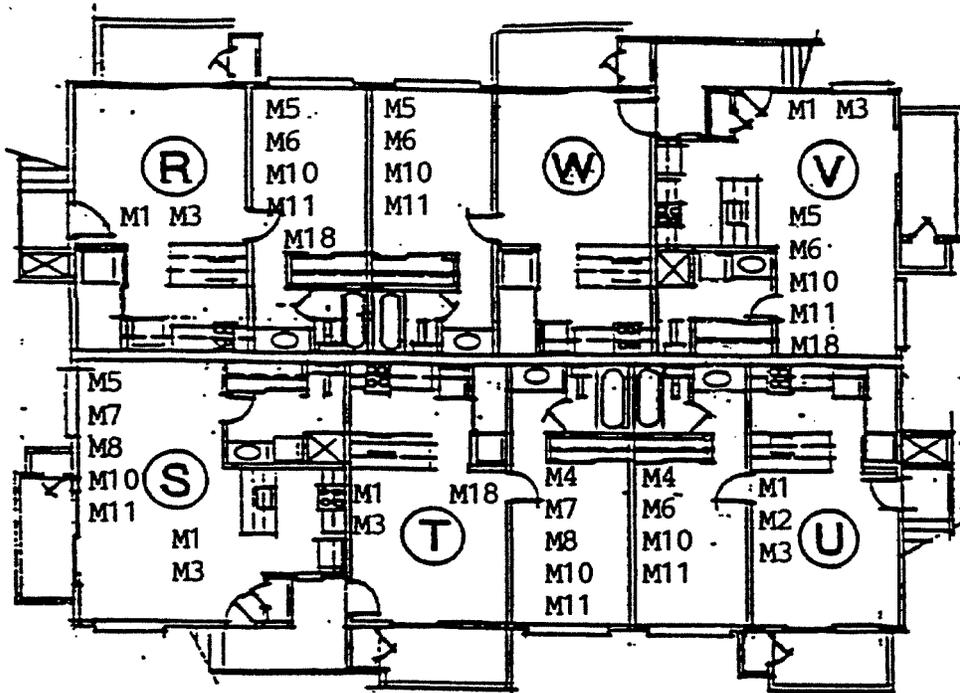
M17 - Cleanout pressure reducer water valve box. Valve box filled with dirt.



FIRST FLOOR PLAN
 SC: 1/16" = 1'-0"

12-PLEX BUILDING # 24
GENTRY SUNPOINT ALANEO

SUEDA & ASSOCIATES, INC.



Mechanical Index of Notes:

M1 - Replace faucet. Faucet chrome pitted and corroded. Clean and polish kitchen sink.

M2 - Replace garbage disposal. Unit vibrates or grinding noise.

M3 - Clean kitchen hood and wash filter. Hood generally in good condition.

M4 - Replace water closet if necessary. Toilet badly stained. Clean water closet.

M5 - Clean water closet and change seat. Water closet only slightly stained.

M6 - Replace lavatory and faucet if cannot be cleaned. Lavatory badly stained and faucet corroded.

M7 - Clean and polish lavatory and faucet. Lavatory in good condition.

M8 - Replace lavatory faucet. Faucet corroded.

M10 - Clean and polish tub and surround. Recaulk tub surround.

M11 - Clean and polish tub shower valve assembly.

M14 - Paint exterior gas piping meter header assembly.

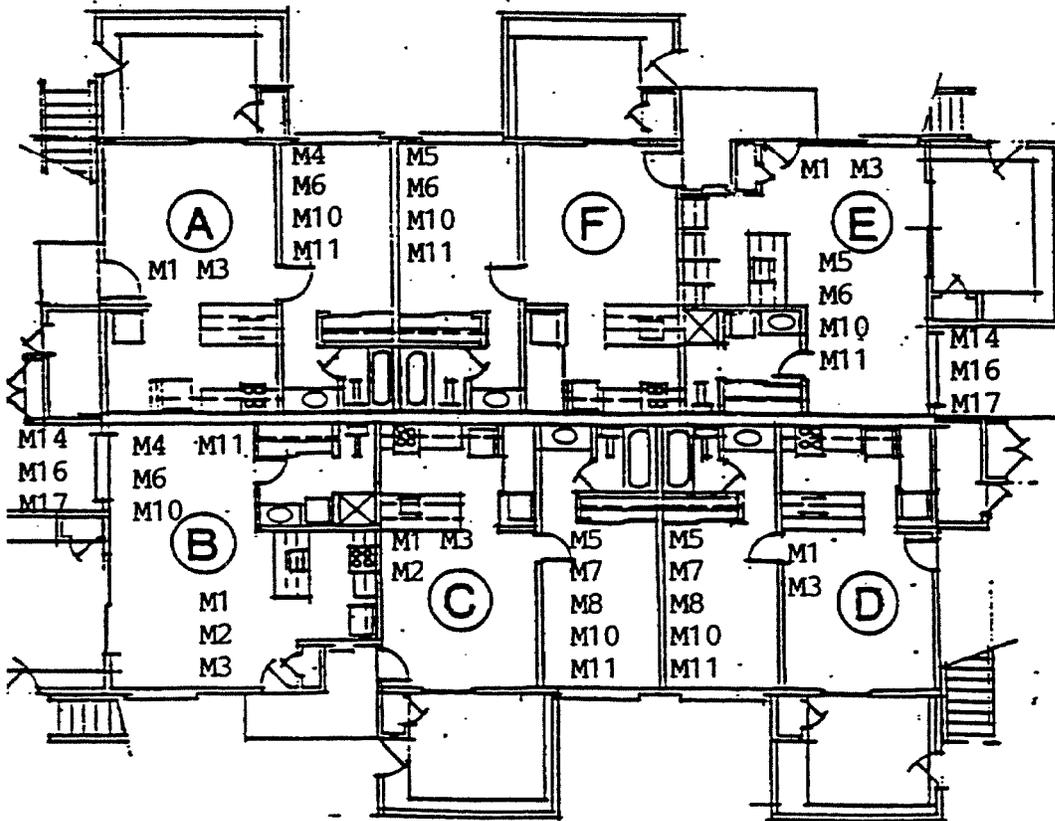
M16 - Cleanout Heater Rooms.

M17 - Cleanout pressure reducer water valve box. Valve box filled with dirt.

M18 - Check and replace bath exhaust. Fan does not run or rattles or slow to start.

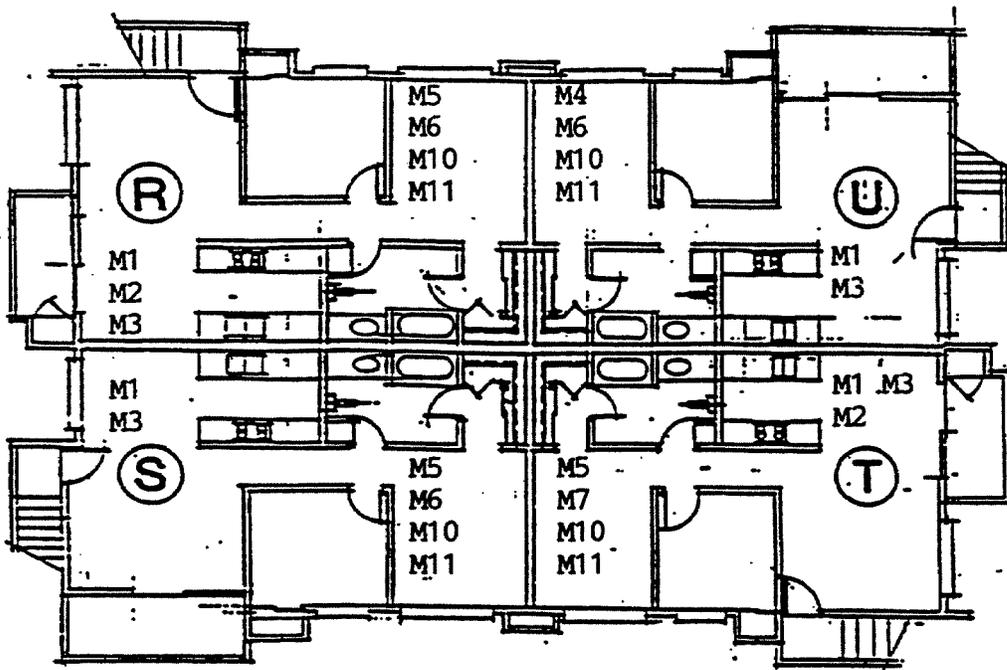
Note: For Unit "R" flex duct in attic space is too long. Shorten flex duct.

SECOND FLOOR PLAN
SC: 1/16" = 1'-0"



FIRST FLOOR PLAN
SC: 1/16" = 1'-0"

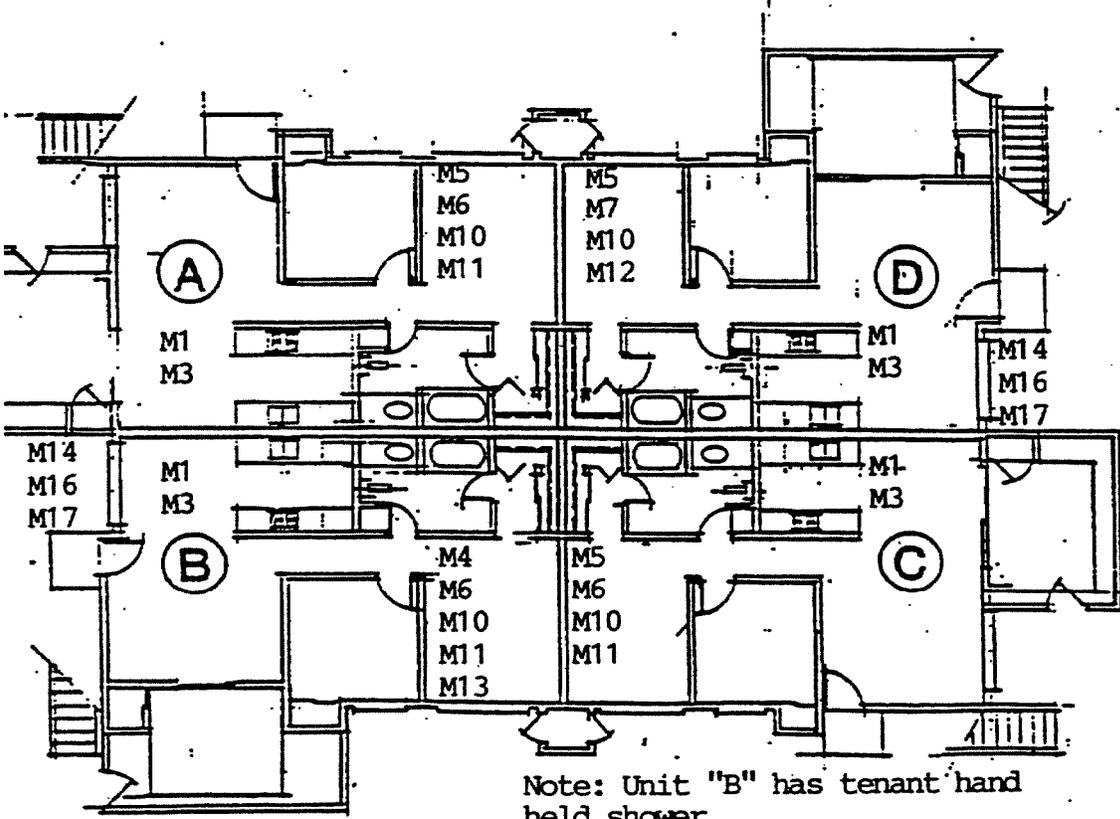
12-PLEX BUILDING #33
GENTRY SUNPOINT ALANEO
SUEDA & ASSOCIATES, INC.



SECOND FLOOR PLAN
 SC: 1/16" = 1'-0"

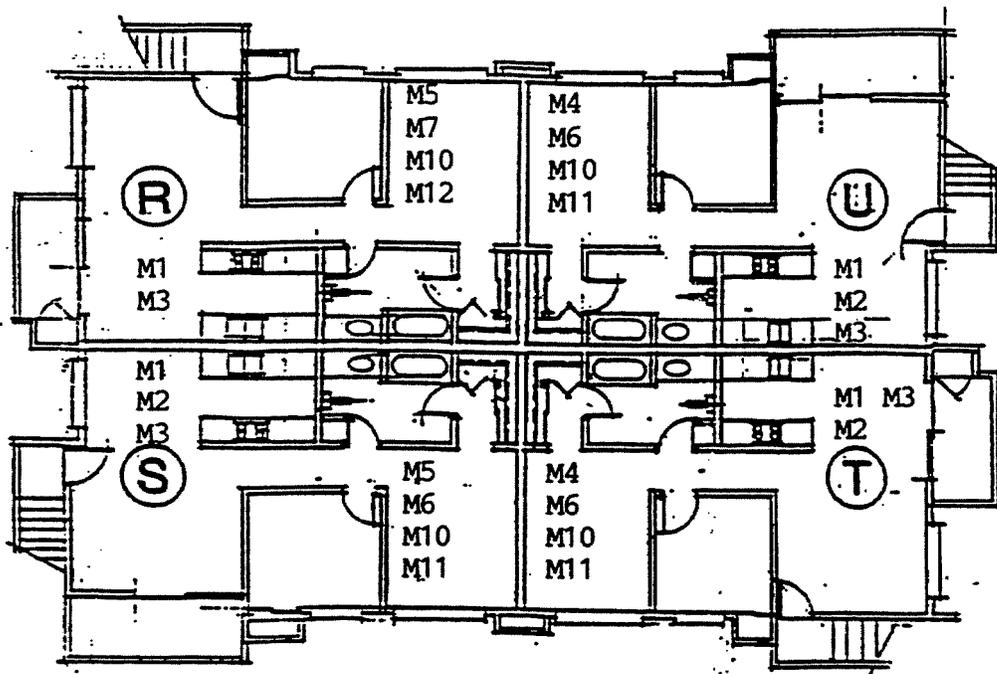
Mechanical Index of Notes:

- M1 - Replace faucet. Faucet chrome pitted and corroded. Clean and polish kitchen sink.
- M2 - Replace garbage disposal. Unit vibrates or grinding noise.
- M3 - Clean kitchen hood and wash filter. Hood generally in good condition.
- M4 - Replace water closet if necessary. Toilet badly stained. Clean water closet.
- M5 - Clean water closet and change seat. Water closet only slightly stained.
- M6 - Replace lavatory and faucet if cannot be cleaned. Lavatory badly stained and faucet corroded.
- M7 - Clean and polish lavatory and faucet. Lavatory in good condition.
- M10 - Clean and polish tub and surround. Recaulk tub surround.
- M11 - Clean and polish tub shower valve assembly.
- M12 - Replace shower valve assembly. Shower valve assembly corroded.
- M13 - Replace missing shower head.
- M14 - Paint exterior gas piping meter header assembly.
- M16 - Cleanout Heater Rooms.
- M17 - Cleanout pressure reducer water valve box. Valve box filled with dirt.



Note: Unit "B" has tenant hand held shower.

FIRST FLOOR PLAN
 SC: 1/16" = 1'-0"



Mechanical Index of Notes:

M1 - Replace faucet. Faucet chrome pitted and corroded. Clean and polish kitchen sink.

M2 - Replace garbage disposal. Unit vibrates or grinding noise.

M3 - Clean kitchen hood and wash filter. Hood generally in good condition.

M4 - Replace water closet if necessary. Toilet badly stained. Clean water closet.

M5 - Clean water closet and change seat. Water closet only slightly stained.

M6 - Replace lavatory and faucet if cannot be cleaned. Lavatory badly stained and faucet corroded.

M7 - Clean and polish lavatory and faucet. Lavatory in good condition.

M8 - Replace lavatory faucet. Faucet corroded.

M10 - Clean and polish tub and surround. Recaulk tub surround.

M11 - Clean and polish tub shower valve assembly.

M12 - Replace shower valve assembly. Shower valve assembly corroded.

M14 - Paint exterior gas piping meter header assembly.

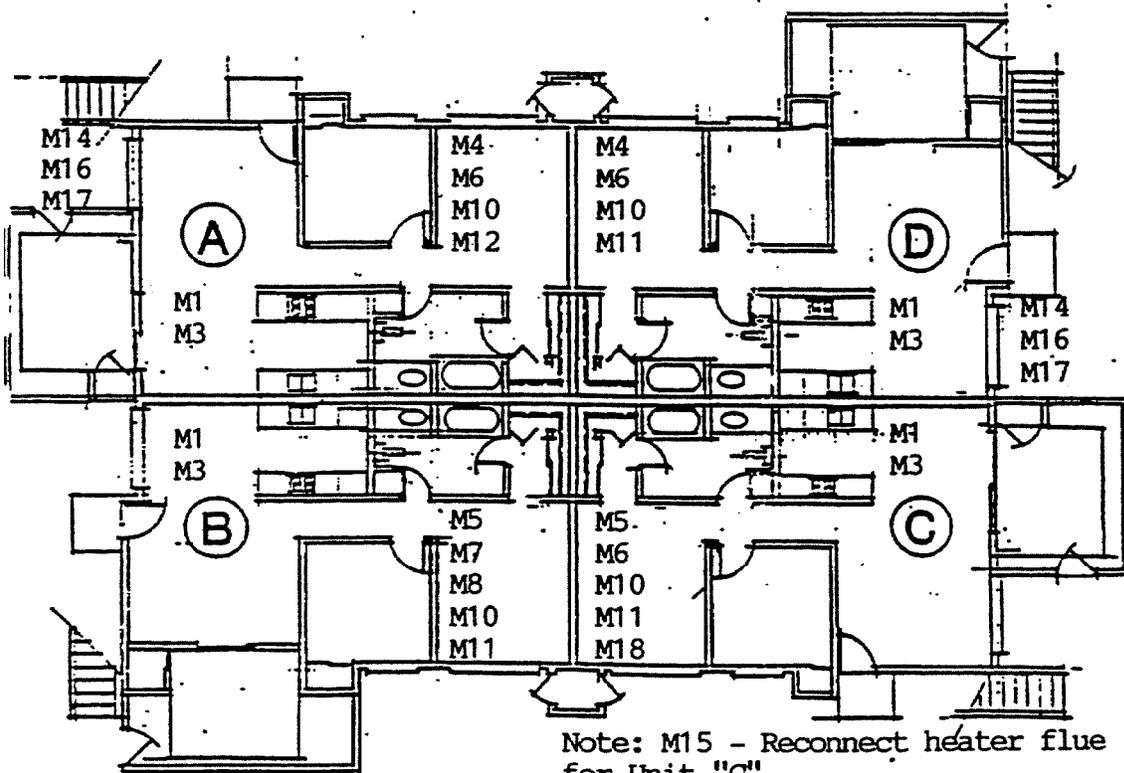
M15 - Attach heater flue to heater. Loose flue.

M16 - Cleanout Heater Rooms.

M17 - Cleanout pressure reducer water valve box. Valve box filled with dirt.

M18 - Check and replace bath exhaust. Fan does not run or rattles or slow to start.

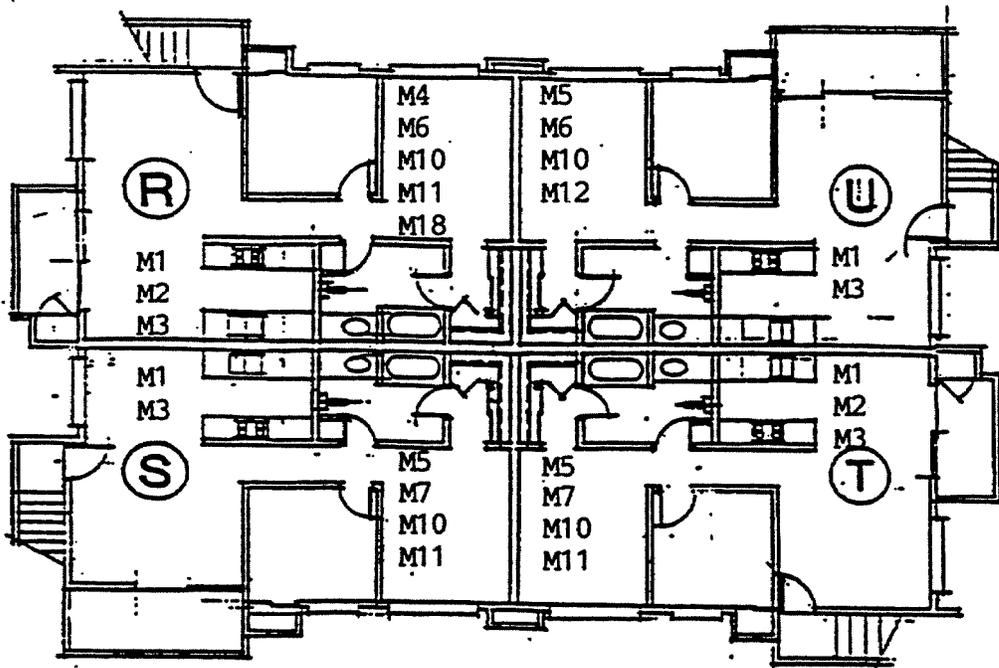
SECOND FLOOR PLAN
SC: 1/16" = 1'-0"



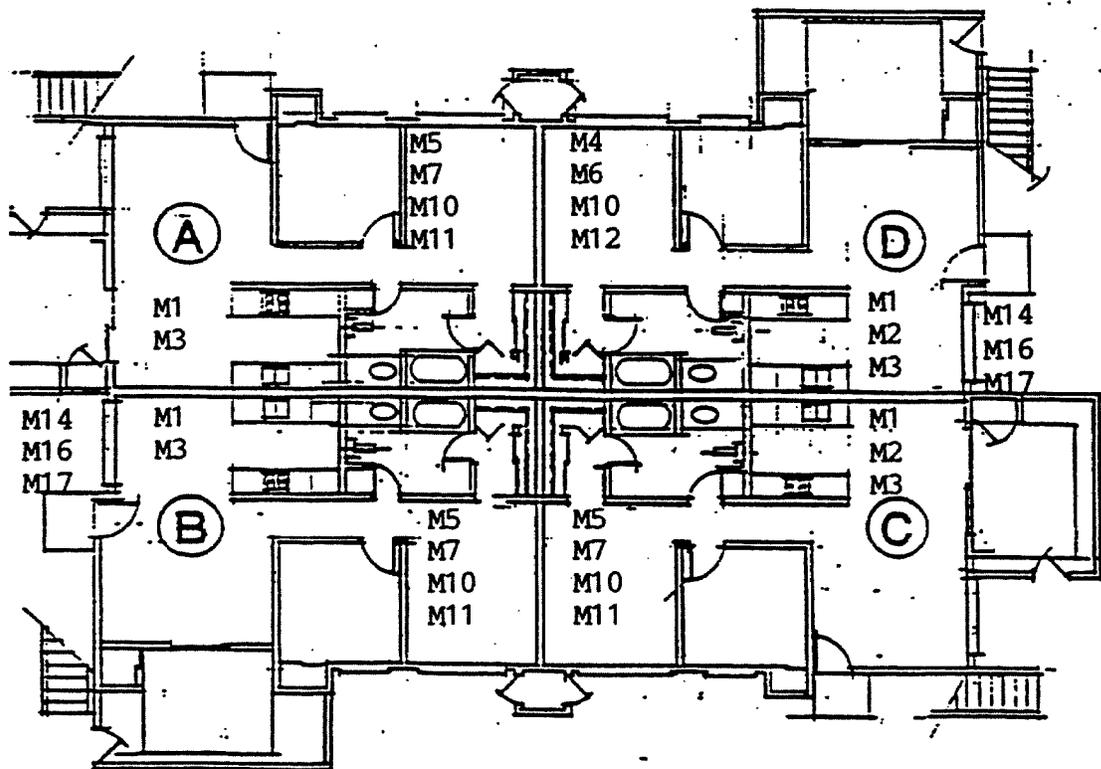
FIRST FLOOR PLAN
SC: 1/16" = 1'-0"

8-PLEX BUILDING #41
GENTRY SUNPOINT ALANEO

SUEDA & ASSOCIATES, INC.



SECOND FLOOR PLAN
 SC: 1/16" = 1'-0"



FIRST FLOOR PLAN
 SC: 1/16" = 1'-0"

8-PLEX BUILDING #45
GENTRY SUNPOINT ALANEO
 SUEDA & ASSOCIATES, INC.

Mechanical Index of Notes:

M1 - Replace faucet. Faucet chrome pitted and corroded. Clean and polish kitchen sink.

M2 - Replace garbage disposal. Unit vibrates or grinding noise.

M3 - Clean kitchen hood and wash filter. Hood generally in good condition.

M4 - Replace water closet if necessary. Toilet badly stained. Clean water closet.

M5 - Clean water closet and change seat. Water closet only slightly stained.

M6 - Replace lavatory and faucet if cannot be cleaned. Lavatory badly stained and faucet corroded.

M7 - Clean and polish lavatory and faucet. Lavatory in good condition.

M10 - Clean and polish tub and surround. Recaulk tub surround.

M11 - Clean and polish tub shower valve assembly.

M12 - Replace shower valve assembly. Shower valve assembly corroded.

M14 - Paint exterior gas piping meter header assembly.

M16 - Cleanout Heater Rooms.

M17 - Cleanout pressure reducer water valve box. Valve box filled with dirt.

M18 - Check and replace bath exhaust. Fan does not run or rattles or slow to start.

ELECTRICAL ASSESSMENT REPORT FOR
GENTRY SUNPOINT ALANEO

I. ELECTRICAL (POWER) SERVICE:

A. Hawaiian Electric Company Service

1. HECO primary service to the project site is underground.
2. A series of Hawaiian Electric Company (HECO) pad mounted transformers are located throughout the site and provide 120/240 volts, single phase service to each of the buildings.

B. Secondary Service

1. Underground secondary service at 120/240 volts, single phase, three wires run from the HECO pad mounted transformers to the main electrical service equipment located within an electrical closet at the exterior of each building.
2. The main electrical service equipment consists of a main breaker (for building with more than six units) and individual HECO meters for each of the dwellings units.
3. The service equipment also consists of a 100 ampere main circuit breaker for each unit.
4. Based on Code calculations, the main service equipment and service to individual dwelling units are adequately sized and appear to be in good operating condition.

II. BUILDING INTERIOR WIRING:

A. Service Feeders

1. Main service feeders from the main service equipment to the individual panelboards within each unit consists of aluminum, "service entrance" type cables. These service feeders are routed within the second floor space for the ground floor units and the attic space for the second floor units.
2. Main service feeders appear to be in good working condition with no indications of overloading, unusual wear or problems.

B. Branch Circuit Wiring

1. Of the wiring observed, the building interior branch circuit wiring consists of nonmetallic-sheathed cable with insulated copper conductors and bare ground conductor.
2. The wiring observed appear to be in good condition with no serious deficiencies or problems observed.

3. Unit 39U: Ceiling fan in Master Bedroom required assistance for fan to begin turning.

Recommendation: Replace ceiling fan.

II. EXTERIOR ASSESSMENT SUMMARY:

A. General

In general, the conditions of the exterior electrical facilities are in good condition. There were no observable signs of electrical conditions, which presented any serious problems. Typical conditions, which repair or replacement are recommended include the following:

1. Many of the low voltage "mini-bollard" luminaires were leaning and not plumb.

Recommendation: Although this item does not have any significant impact on the operation of the luminaires, the luminaires could be reset to be plumb.

B. Specific Unit Observations:

1. Outside Building 24: A "mini-bollard" exterior luminaire was missing and wiring was exposed (ends taped).

Recommendation: Provide new luminaire.

V. **TELEPHONE SYSTEM:**

A. **Main Telephone Service**

1. The main incoming telephone service by GTE Hawaiian Telephone originates from an underground distribution system similar to Hawaiian Electric Company Service.
2. Main service enters each building through a telephone cabinet located within the ground floor electric closet at the exterior of each building.
3. There does not appear to be any problem or deficiency with the telephone service.

B. **Building Distribution**

1. Telephone cable by GTE Hawaiian Telephone from the telephone cabinet are provided to each of telephone outlets within the individual units.
2. There does not appear to be any problem or deficiency with the telephone distribution system.

VI. **CABLE TELEVISION SYSTEM:**

A. **Main Television Service**

1. The main incoming television service by Oceanic Cable originates from an underground distribution system similar to electric and telephone services.
2. Main service enters each building through a television junction box located within the ground floor electric closet at the exterior of each building.
3. There does not appear to be any problem or deficiency with the telephone service.

B. **Building Distribution**

1. Television cable by Oceanic Cable from the television junction box are provided to each of television outlets within the individual units.
2. There does not appear to be any problem or deficiency with the television wiring system.

VII. **FIRE DETECTION SYSTEM:**

A. The facility does not have a fire alarm system.

B. **Individual Dwelling Units**

1. Each unit is equipped with an AC powered room smoke detector with integral alarm. These detectors are located outside of the sleeping areas (bedrooms).
2. Current Code requires that AC powered smoke detectors with integral alarms also be installed within each of the sleeping areas (bedrooms).

3. There does not appear to be a problem with the existing detectors.

VIII. EXTERIOR FACILITIES:

A. Lighting

1. Exterior lighting consists of pole mounted high pressure sodium luminaires for the parking and roadway areas and low voltage "mini-bollard" path lights around the dwelling units.
2. There does not appear to be any problems or deficiencies with the exterior lighting system.

B. Electrical Distribution

1. Metering equipment and common area panelboards are distributed throughout the site (near Buildings 13, 16, 20, 33 and 43) to provide power to exterior lighting and irrigation control equipment.
2. Power for these common area system is through the pad mounted transformer, which serve the dwelling units.
3. The exterior electrical system appears to be in good working condition and does not appear to have any problems or deficiencies.

IX. FINDINGS AND CONCLUSIONS

Based on the electrical Codes under which the Project was constructed, the electrical systems, in general, observed appears to be well maintained and in good working condition.

Based on Code calculations, the existing main service appears to be adequate for the present loads.

There does not appear to be any significant problems with the telephone service or distribution system.

Facility does not have a fire alarm system. Individual dwelling units have smoke detectors with integral alarms outside of the sleeping areas.

Lighting system within the dwelling units and on the exterior of the building appears to be operating without obvious problems or deficiencies. Yellowing polycarbonate diffusers within the Kitchen luminaires should be replaced with new clear acrylic, prismatic diffusers.

GENTRY - SUNPOINT ALANEO
ELECTRICAL ASSESSMENT

I. INTERIOR ASSESSMENT SUMMARY:

A. General

In general, the conditions of the units interiors are in good condition. There were no observable signs of electrical conditions, which presented any serious problems. Typical conditions, which repair or replacement are recommended include the following:

1. Receptacles at Kitchen counters near the sink (within 72") are not ground fault (GFI) protected.

Recommendation: Replace receptacles (two per kitchen) be replaced with ground fault interrupter (GFI) type receptacles.

2. Kitchen lighting consists of fluorescent striplights within a ceiling mounted housing with prismatic, polycarbonate diffuser. Diffusers have yellowed due to age and in many instances are sagging.

Recommendation: Replace polycarbonate diffusers with new non-yellowing, acrylic prismatic diffusers.

3. Currently, units have smoke detector/alarms outside of the sleeping areas only. Current Code requires that additional detector/alarms be installed within the sleeping areas.

Recommendation: Provide new smoke detector/alarm with each of the bedrooms.

4. The National Electrical Code requires that all dwelling units at grade level have at least one receptacle on the exterior and that this receptacle be ground fault protected. The 12-plex buildings reviewed did not have outlets at the exterior (lanais).

Recommendation: Provide new weatherproof, ground fault interrupter (GFI) duplex receptacle at each ground floor lanai.

B. Specific Unit Observations:

1. Unit 16B: Panelboard had missing breaker without covers to conceal live wiring.

Recommendation: Provide plastic, blanking covers for open breaker spaces.

2. Unit 33V: Exterior luminaire at door was not properly supported.

Recommendation: Resupport luminaire to existing outlet box.

III. LIGHTING:

A. Kitchen

1. Lighting in this room consist of surface mounted strip fluorescent luminaires mounted with a surface mounted enclosure with prismatic, polycarbonate diffusers. Because of age, the polycarbonate diffusers have "yellowed" because of the ultraviolet of the fluorescent lamps. Further, many of the diffusers have began to sag, also due to age.
2. The fluorescent striplights appear to be in good working condition without observable signs of problems. However, it is recommended that these polycarbonate diffusers be replaced with new clear, prismatic, non-yellowing acrylic diffusers.

B. Other Areas

1. Illumination with the other rooms is accomplished with surface mounted incandescent luminaires.
2. The incandescent luminaires appear to be in good working condition without observable signs of problems.

IV. WIRING DEVICES:

A. Switches

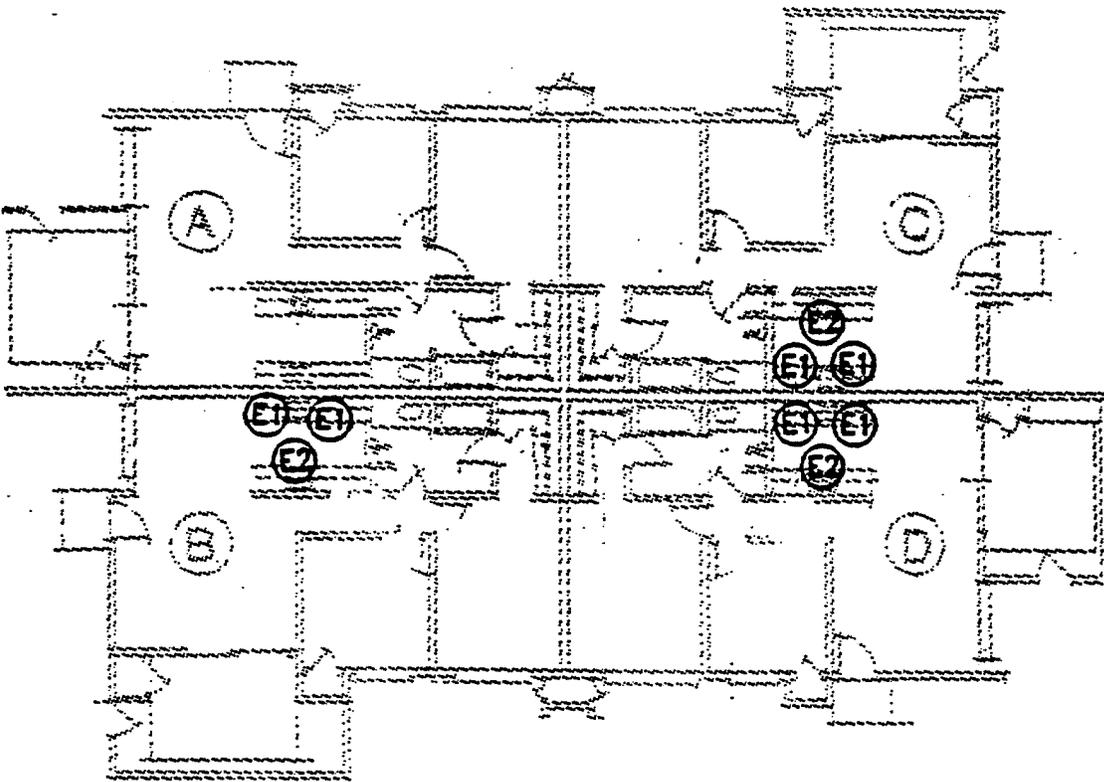
1. Light switches are "residential grade" type and are generally mounted at +48".
2. In general, the existing wiring devices do not appear to have any significant deficiencies or operational problems.

B. Receptacles

1. Duplex receptacles are "residential grade" and are generally mounted at +9" AFF.
2. Receptacles at the Bathroom and Lanais are ground fault protected by a ground fault interrupter (GFI) type circuit breaker with the panelboard.
3. Receptacles above the kitchen counter (near the sink) are not ground fault protected as required by the current Code. It is recommended that these receptacles within 72" of the sink be ground fault protected by replacing the receptacles with new GFI type receptacles.
4. The 12-plex buildings observed did not have GFI type outlets at ground floor Lanais as required by current Code. It is recommended that GFI type outlets be added at all ground floor Lanais.
5. With the exception of the GFI outlets at the Kitchen and the need for GFI receptacles at all ground floor Lanais, the existing wiring devices do not appear to have any significant deficiencies or operational problems.

E-1 Replace duplex receptacle with new GFI type.

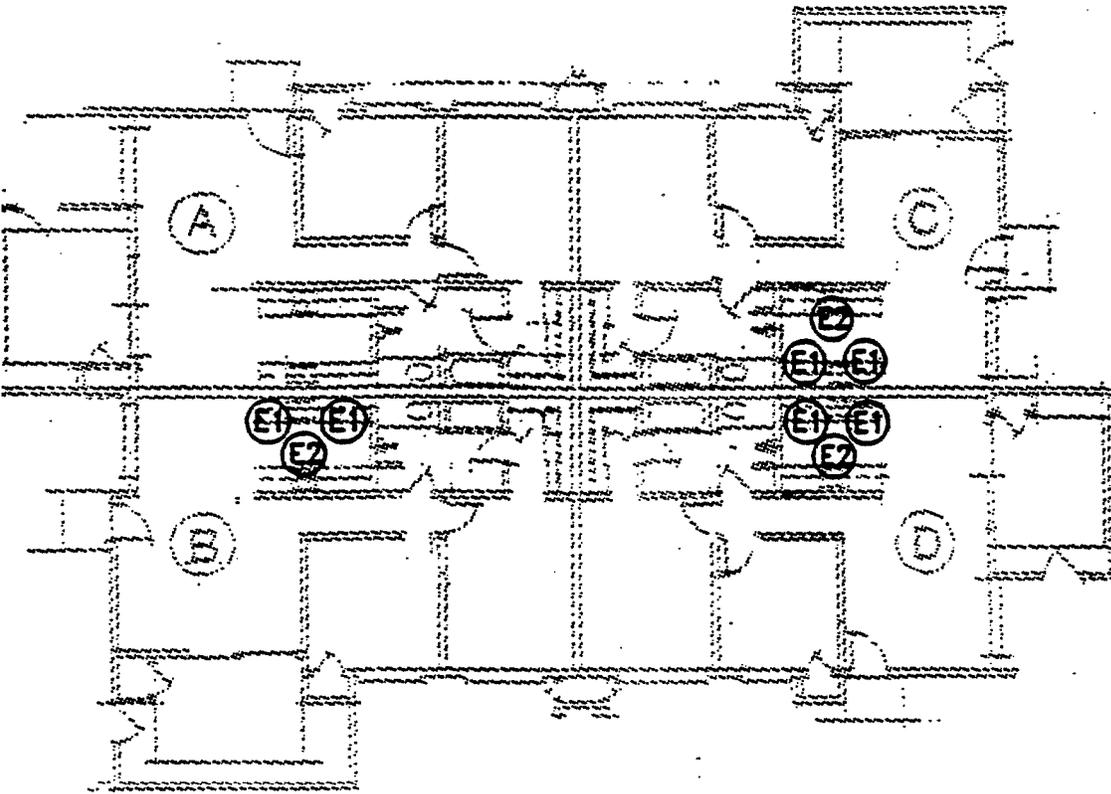
E-2 Replace polycarbonate diffusers (two 2 X 4) with new acrylic prismatic diffusers.



FIRST FLOOR PLAN
SC: 1/16" = 1'-0"

E-1 Replace duplex receptacle with new GFI type.

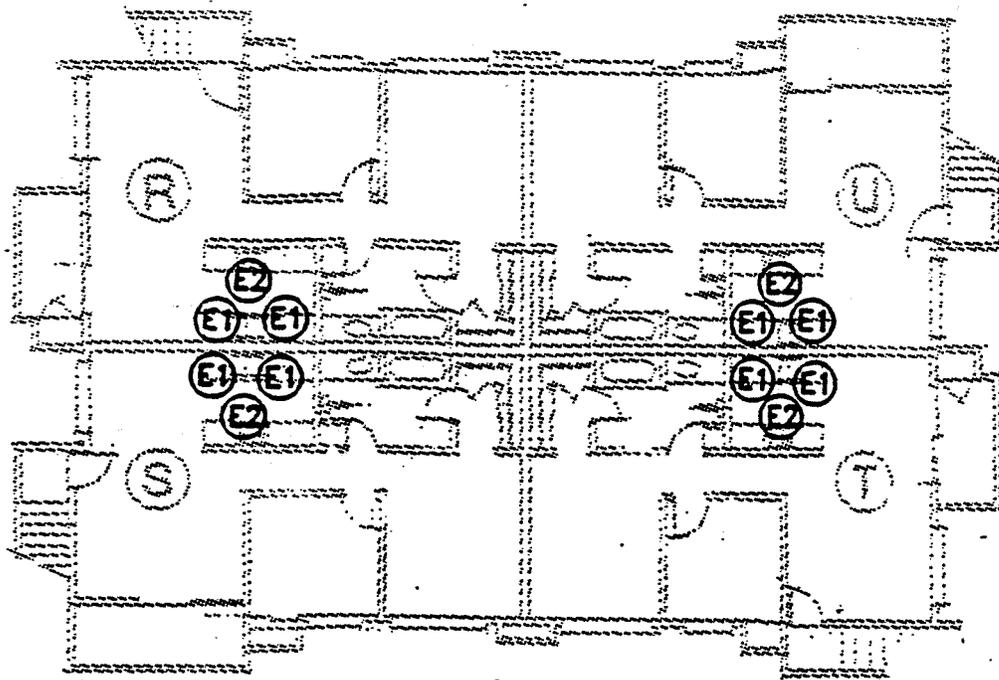
E-2 Replace polycarbonate diffusers (two 2 X 4) with new acrylic prismatic diffusers.



FIRST FLOOR PLAN
SC: 1/16"=1'-0"

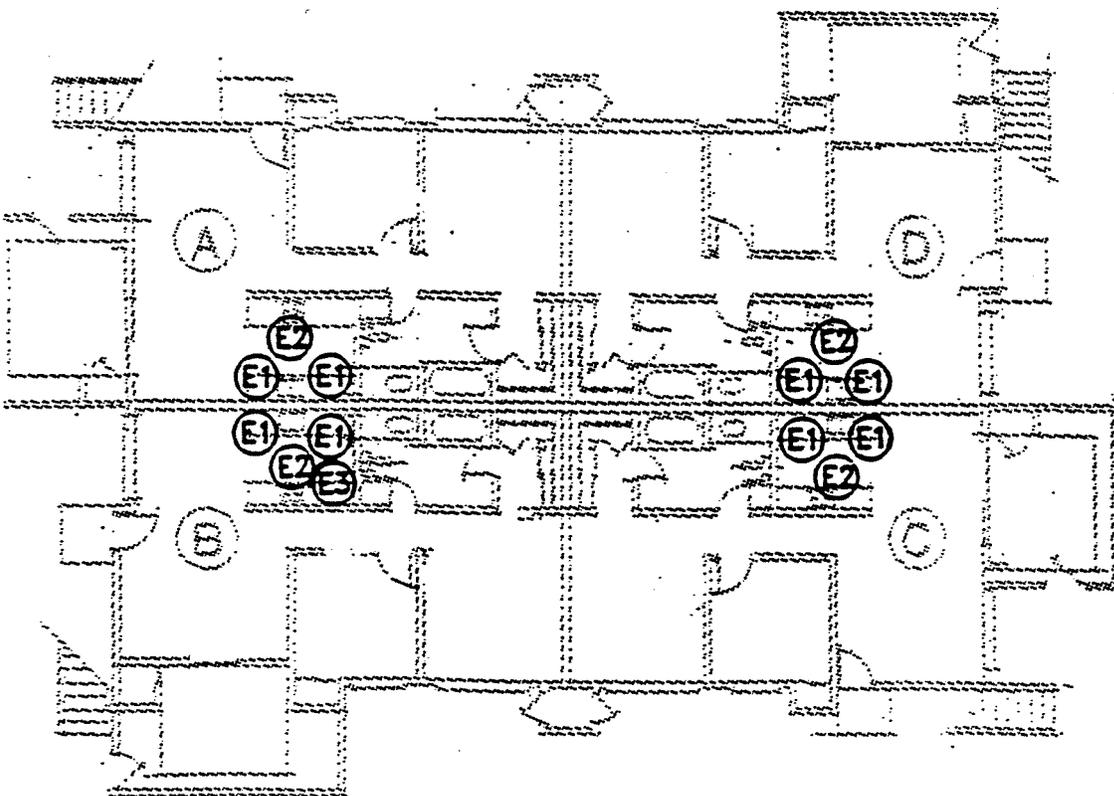
4-PLEX BUILDING #12
GENTRY SUNPOINT ALANEO

SUEDA & ASSOCIATES, INC.



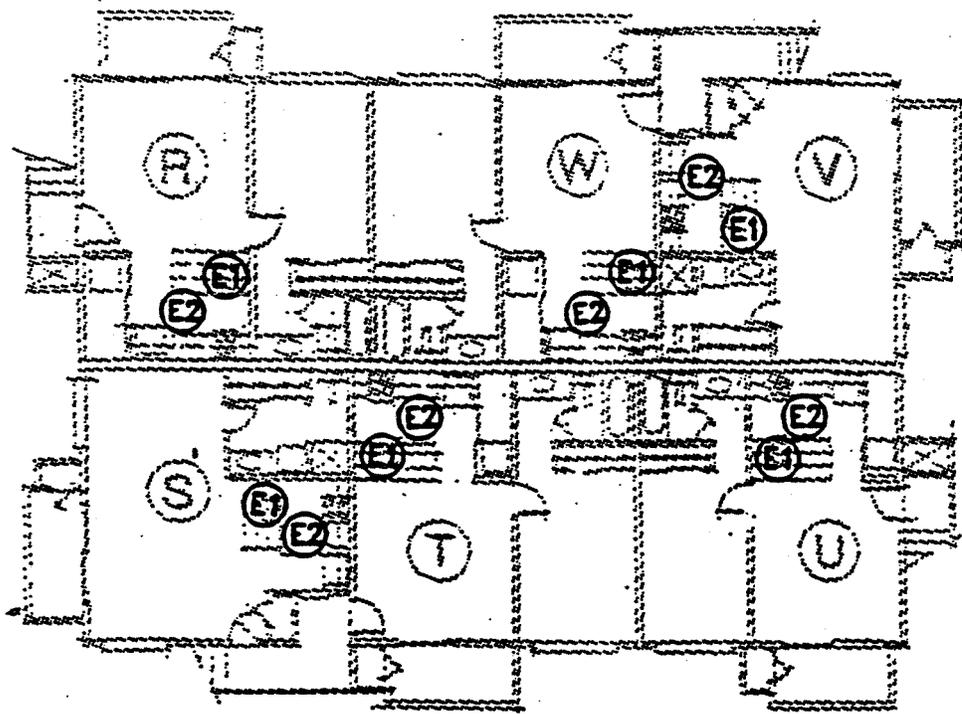
- E-1 Replace duplex receptacle with new GFI type.
- E-2 Replace polycarbonate diffusers (two 2 X 4) with new acrylic prismatic diffusers.
- E-3 Provide blanking cover for missing breakers (2).

SECOND FLOOR PLAN
 SC: 1/16" = 1'-0"



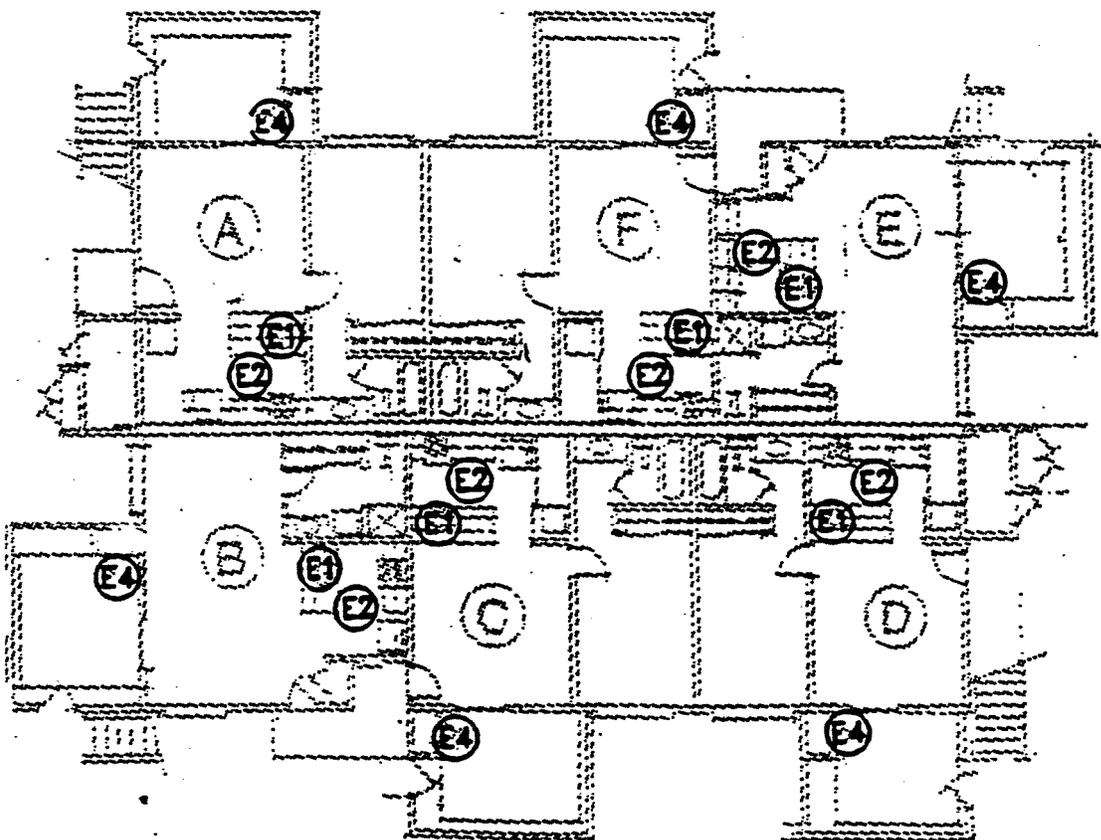
FIRST FLOOR PLAN
 SC: 1/16" = 1'-0"

8-PLEX BUILDING #16
GENTRY SUNPOINT ALANEO



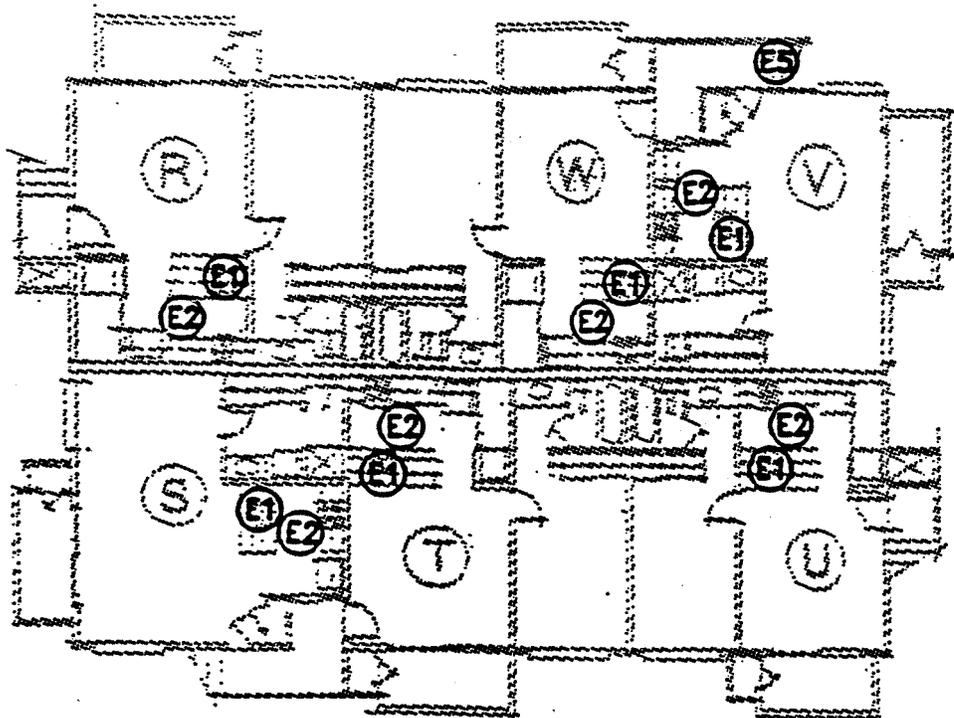
- E-1 Replace duplex receptacle with new GFI type.
- E-2 Replace polycarbonate diffusers (two 2 X 4) with new acrylic prismatic diffusers.
- E-4 Provide new duplex, weatherproof GFI type receptacle at Lanai, if required.

SECOND FLOOR PLAN
 SC: 1/16" = 1'-0"



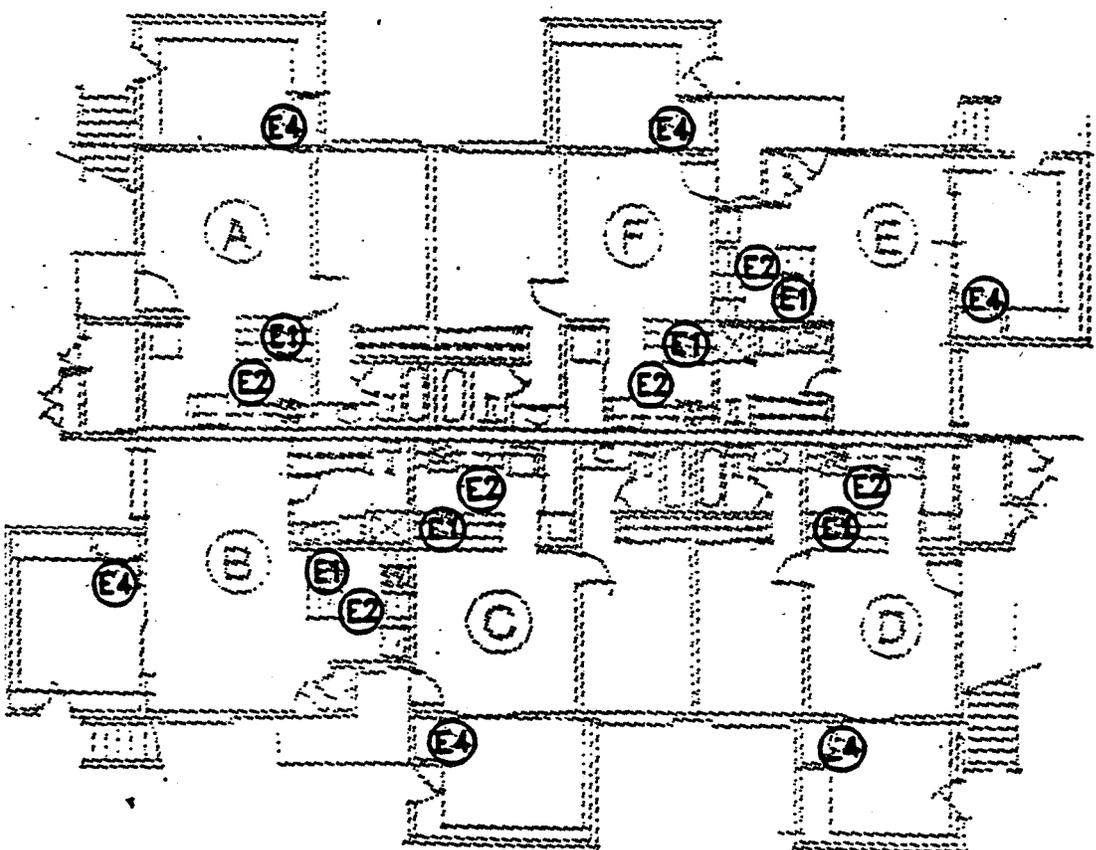
FIRST FLOOR PLAN
 SC: 1/16" = 1'-0"

12-PLEX BUILDING # 24
GENTRY SUNPOINT ALANEO



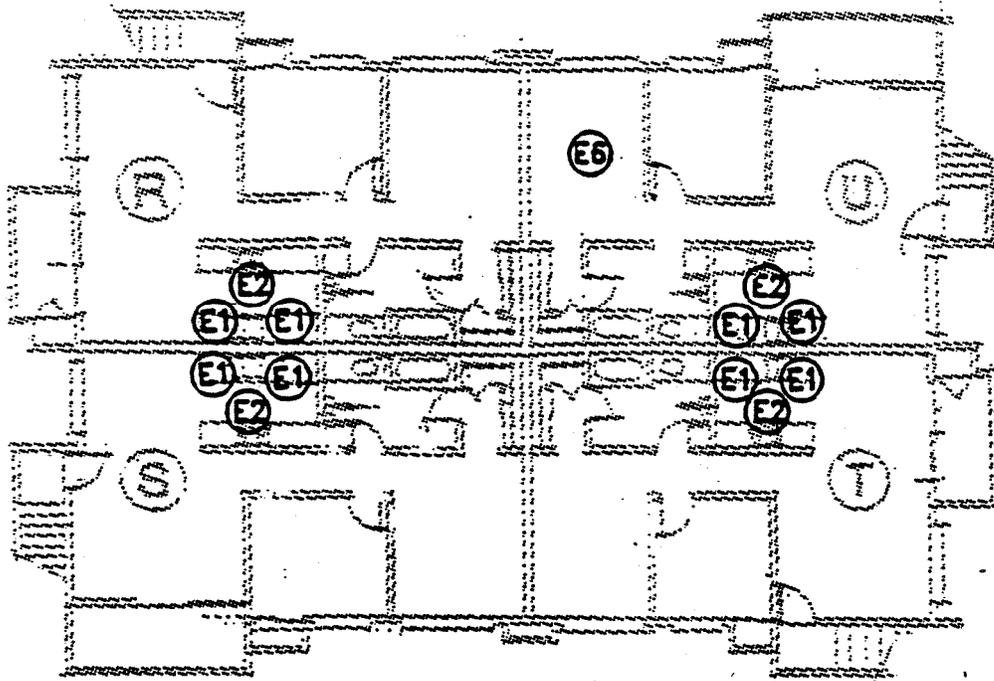
- E-1 Replace duplex receptacle with new GFI type.
- E-2 Replace polycarbonate diffusers (two 2 X 4) with new acrylic prismatic diffusers.
- E-4 Provide new duplex, weatherproof GFI type receptacle at Lanai, if required.
- E-5 Resupport existing wall mounted luminaire.

SECOND FLOOR PLAN
 SC: 1/16" = 1'-0"



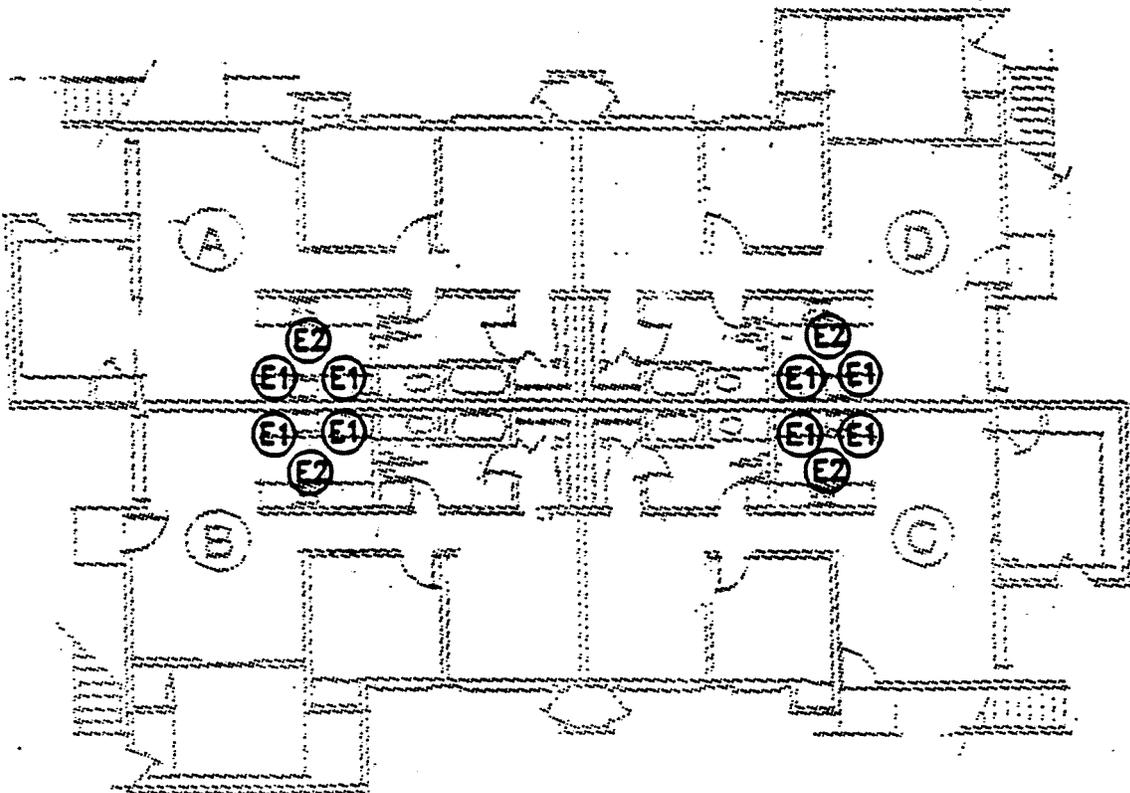
FIRST FLOOR PLAN
 SC: 1/16" = 1'-0"

12-PLEX BUILDING #33
GENTRY SUNPOINT ALANEO



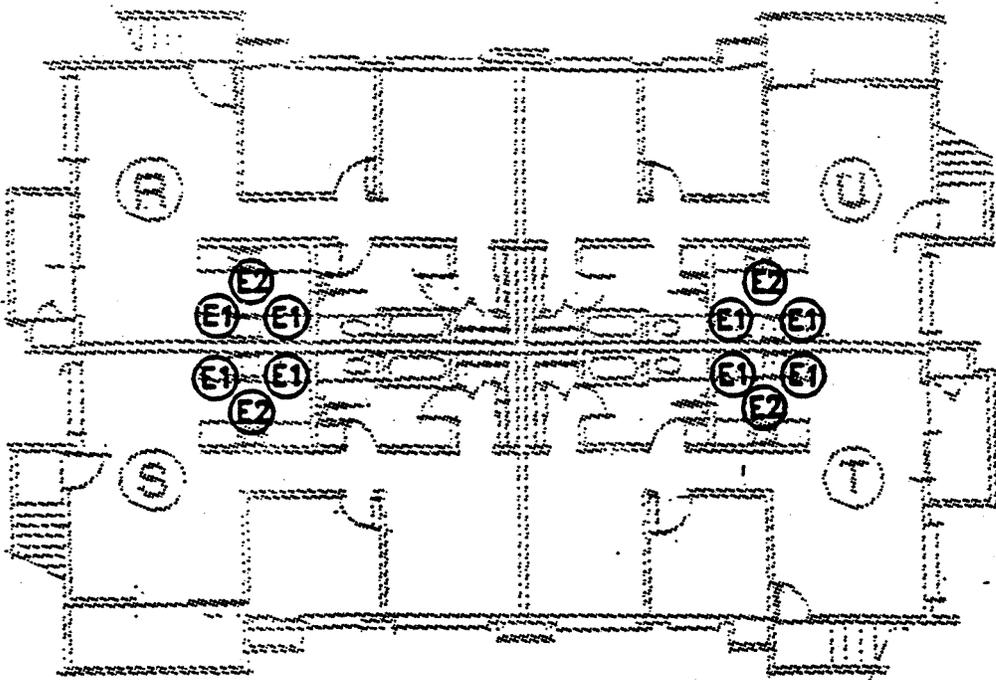
- E-1 Replace duplex receptacle with new GFI type.
- E-2 Replace polycarbonate diffusers (two 2 X 4) with new acrylic prismatic diffusers.
- E-6 Replace ceiling fan.

SECOND FLOOR PLAN
 SC: 1/16" = 1'-0"



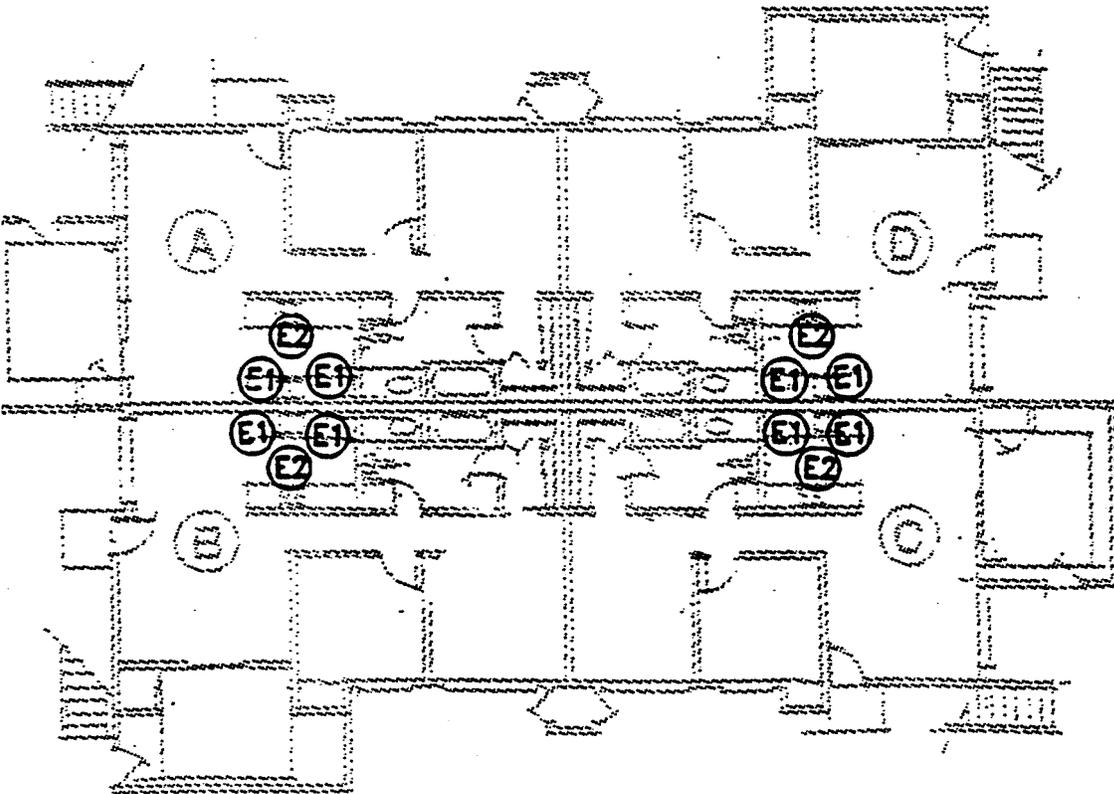
FIRST FLOOR PLAN
 SC: 1/16" = 1'-0"

8-PLEX BUILDING #39
GENTRY SUNPOINT ALANEO



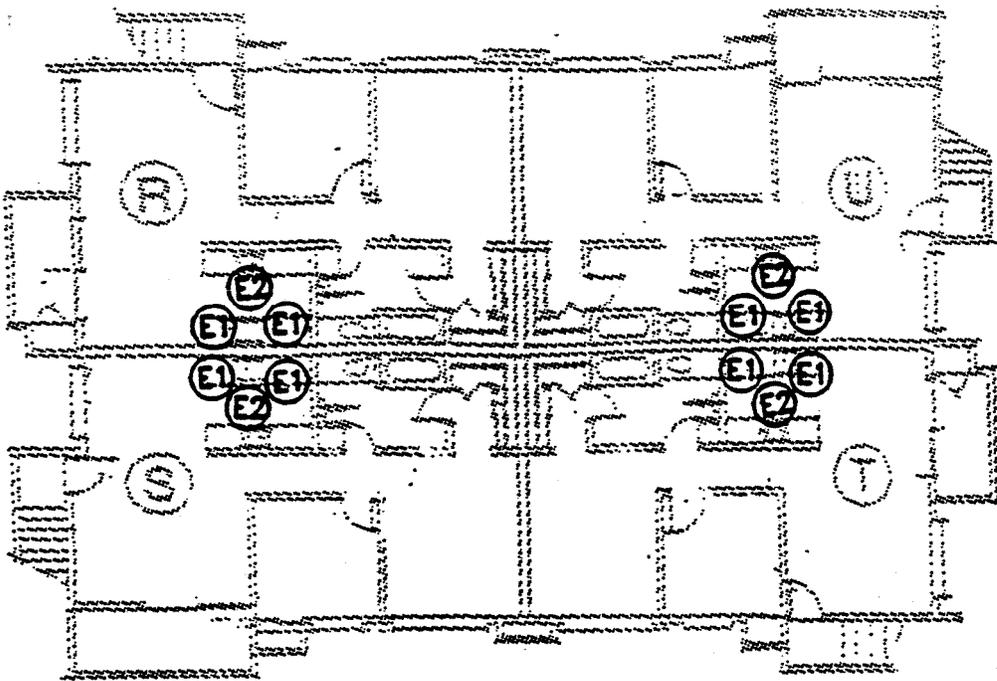
- E-1 Replace duplex receptacle with new GFI type.
- E-2 Replace polycarbonate diffusers (two 2 X 4) with new acrylic prismatic diffusers.

SECOND FLOOR PLAN
 SC: 1/16" = 1'-0"



FIRST FLOOR PLAN
 SC: 1/16" = 1'-0"

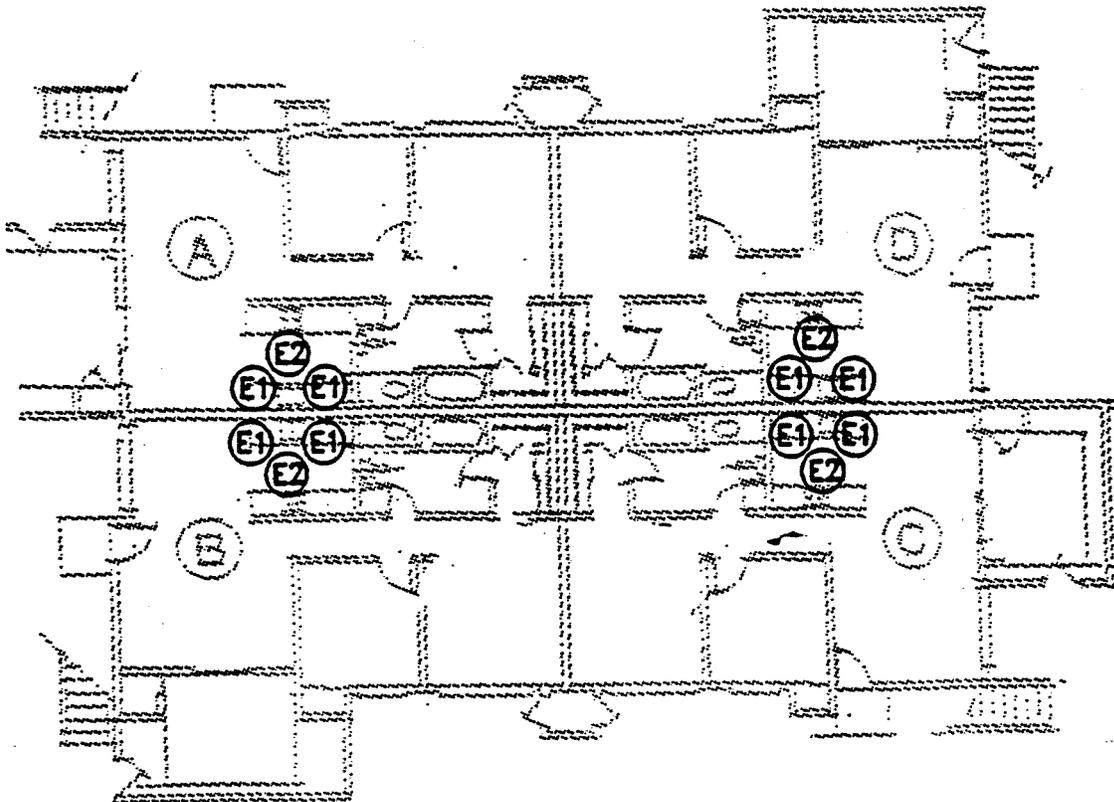
8-PLEX BUILDING #41
GENTRY SUNPOINT ALANEO
 SUEDA & ASSOCIATES, INC.



E-1 Replace duplex receptacle with new GFI type.

E-2 Replace polycarbonate diffusers (two 2 X 4) with new acrylic prismatic diffusers.

SECOND FLOOR PLAN
 SC: 1/16" = 1'-0"



FIRST FLOOR PLAN
 SC: 1/16" = 1'-0"

8-PLEX BUILDING #45
GENTRY SUNPOINT ALANEO

EXHIBIT N-1

SUNPOINT - PHASE III CONDOMINIUM PROJECT
REGISTRATION NO. 3653
DISCLOSURE ABSTRACT AS OF NOVEMBER 5, 1996

1. Project: Sunpoint - Phase III, Waipahu, Oahu, 96797
Building 22: 94-1419 Polani Street
Building 23: 94-1411 Polani Street
Building 24: 94-1405 Polani Street
Building 25: 94-1399 Polani Street
Building 26: 94-1391 Polani Street
Building 27: 94-1390 Polani Street
Building 28: 94-1398 Polani Street
Building 29: 94-1404 Polani Street
Building 30: 94-1410 Polani Street
2. Developer: Gentry-Alaneo, a Hawaii limited partnership
560 N. Nimitz Highway
Honolulu, Hawaii 96817
(808) 599-5558
3. Managing Agent: Certified Management, Inc.
3179 Koapaka Street
Honolulu, Hawaii 96819-1927
(808) 836-0911

4. Maintenance Fees: The breakdown of the estimated annual maintenance fees and the estimated monthly fees for each apartment, representing the common expenses of the Project allocated to each apartment, which are hereby certified to be based on generally accepted accounting principles, are set forth in Exhibit "A" attached hereto and made a part hereof. The Developer advises that the maintenance fees of a condominium project are difficult to estimate prior to actual operation of the Project and even if maintenance fees have been accurately estimated, such fees will tend to increase in an inflationary economy and as the improvements age. The estimated maintenance fees and monthly fees for each apartment are based on the latest information available to the Developer and the Managing Agent and are subject to revision based on actual costs for items enumerated. Maintenance fees can vary depending on services desired by apartment owners. Each buyer should check the attached maintenance fee schedule to see what services are included therein. The Developer also discloses that a reserve study was done in accordance with Hawaii Revised Statutes Section 514A-83.6 and the Hawaii Administrative Rules, Chapter 107, in arriving at the estimate of reserve funds necessary to maintain the Project, which is contained in Exhibit "A"

Notwithstanding the foregoing, each buyer shall not be obligated for the payment of such buyer's monthly maintenance fees until the Developer files an amended disclosure abstract with the Real Estate Commission (the "Commission") providing for a specific date on which such buyer must commence payment of such fees. The amended disclosure abstract shall be filed at least thirty (30) days prior to the date on which each buyer must assume responsibility for such payment, and Developer will

furnish each buyer with a copy of the amended disclosure abstract.

5. Warranties: The Project consists of eighty-eight (88) residential apartments contained in nine (9) buildings, each containing two (2) stories. In addition, there are one hundred eight (108) regular sized parking stalls, eighty (80) of which are covered and twenty-eight (28) of which are uncovered.

The buildings were constructed in 1986. The Project, the apartments and anything installed or contained therein are being sold in "AS IS" condition "WITH ALL FAULTS" by the Developer, without any warranties whatsoever, express or implied. Paragraphs 7 and 8 of the Deposit Receipt and Sales Contract used in connection with the Project provide as follows:

7. APARTMENT BEING SOLD "AS IS" WITH "ALL FAULTS". The Apartment and the Project are now being sold in "AS IS" condition with "ALL FAULTS". This means that Seller shall not correct any defects in the Project, the Apartment or anything installed or contained therein. The existence of any defect in the Project, the Apartment or anything installed or contained therein shall not excuse Buyer's obligation to perform all of Buyer's obligations under this Contract.

8. SELLER'S DISCLAIMER OF WARRANTIES.

(a) No Warranties of Seller. Buyer understands and agrees that Seller is disclaiming any warranties, either express or implied, including any implied warranties of habitability, merchantability or fitness for a particular purpose, with respect to the Project, the Apartment or anything installed or contained therein. Each apartment will be deemed to be sold "AS IS" with "ALL FAULTS". Without limiting the generality of the foregoing, Seller will not be liable to Buyer for any construction or other defects (including any latent or hidden defects in the Project, the Apartment or anything installed or contained therein) or for any other aspects of the Project, the Apartment or anything installed or contained therein. This means that Buyer will not have the right to file any lawsuit for damages against Seller for any defects or other matters later discovered by Buyer. Buyer should have the Apartment and the Project inspected to Buyer's satisfaction.

(b) Hazardous Materials and Condition of Project. Seller has made no independent investigation as to asbestos or other hazardous substances in the apartments or in, under or around the Project, including but not limited to, radioactive materials, organic compounds known as polychlorinated biphenyls,

chemicals known to cause cancer or reproductive toxicity, pollutants, contaminants, hazardous wastes, toxic substances, and any and all other substances or materials defined as or included in the definition of "hazardous substances", "hazardous wastes", "hazardous materials" or "toxic substances" under, or for the purposes of hazardous materials laws. Buyer acknowledges that in light of the ages of the buildings in the Project, there may be asbestos or other hazardous substances in the apartments, or in, under or around the Project. Because of the possible presence of asbestos and other hazardous substances, Buyer should have the apartments and the Project inspected to determine the extent of such contamination and any necessary remedial action. Seller will not correct any defects in the apartments or in the Project or anything installed or contained therein and Buyer expressly releases Seller from any liability to Buyer if any hazardous materials are discovered.

As of August 2, 1996, no outstanding notices of uncured violations of building code or other municipal regulations existed. To Developer's knowledge, information and belief, based upon a letter from the Building Department of the City and County of Honolulu attached hereto as Exhibit "B", the Project was in compliance with all applicable code requirements of the City and County of Honolulu in force at the time of its construction in 1986. Special Permit No. 85/SP-82 for joint development was approved on December 18, 1985. No variances or other special permits were granted to allow deviations from any applicable codes. The Building Department cannot determine whether the Project contains any legal nonconforming uses or structures as a result of the adoption or amendment of any ordinances or codes.

Developer does not give any assurances that the apartments can be expanded or that variances are obtainable from the City and County of Honolulu for any proposed improvements.

6. Number of Residential Apartments; Permitted Use. The Project contains eighty-eight (88) residential apartments. The apartments shall be occupied and used only as private dwellings by the respective owners thereof, their tenants, families, domestic servants and social guests, and may be utilized for long-term or short-term rentals, but specifically excluding vacation rentals, which shall be defined as (i) rental for any period less than thirty (30) days; or (ii) any rental in which the occupants of the apartment are provided customary hotel services, such as room service for food and beverage, maid service, furnishing of laundry and linen, and bellboy service. Neither the apartments nor any interest therein shall be sold, transferred, conveyed, leased, occupied, rented or used for or in connection with any time-sharing purpose or under any time-

sharing plan, arrangement or program, including without limitation any so-called "vacation license", "travel club membership" or "time-interval ownership" arrangement. The term "time-sharing" as used herein shall be deemed to include, but is not limited to, any plan, program or arrangement under which the right to use, occupy, own or possess an apartment or apartments in the Project rotates among various persons on a periodically recurring basis according to a fixed or floating interval or period of time, whether by way of deed, lease, association or club membership, license, rental or use agreement, co-tenancy agreement, partnership or otherwise. No apartment owner shall enter into any arrangement with any other apartment owner(s) in the Project whereby any rental pool of apartments or other sharing of rental income from apartments is created. No trade, business or commercial activity of any kind shall be conducted in or from any apartment or the common elements. Other than the foregoing restrictions, the apartment owners shall have the absolute right to lease the same, provided that such lease covers an entire apartment, is in writing and is made subject to the covenants and restrictions contained in the Declaration and By-Laws for the Project, as amended.

7. Existing Structures. The present condition of the site on which the Project is located and the structural components and the mechanical and electrical installations material to the use and enjoyment of the Project are described in reports from a structural engineer, electrical engineer, mechanical engineer and architect attached hereto as Exhibit "C". Although not required by law, the Developer has asked the engineers and the architect to give opinions about the condition of the Project in order to provide buyers with additional information. However, the Developer does not represent or warrant that the letters are correct or complete. The letters should not be relied upon as the opinion of the Developer. No representations are made by the Developer with respect to the expected useful life of the structural components or the mechanical and electrical installations in the Project.

Excerpts from the structural engineer's report indicate that the buildings are in very good structural condition. There were no signs of cracking or separation. Specific observations and items to be corrected are listed in the report.

Excerpts from the electrical engineer's report indicate that, based on the electrical code existing when the Project was constructed, the electrical systems in general appear to be well maintained and in good working condition. Based on code calculations, the main service equipment and service to individual dwellings are adequate for the present loads and appear to be in good operating condition. There were no observable signs of electrical conditions which presented any serious problems. There does not appear to be any problem or

deficiency with the telephone service or distribution system, nor with the television service or wiring system. Specific observations and items to be corrected are listed in the report.

Excerpts from the mechanical engineer's report indicate that most of the kitchen sinks are in good condition, but most water faucets are water stained around the escutcheon plates and some faucets are showing pitting of the chrome finish. Most of the units have the original Whirlaway kitchen sink disposal, which are noisy and vibrate excessively. Some of the units have been replaced with an ISE Badger disposal and a few units have an Emerson disposal. The range hoods are recirculating type with two speed fan and light, and are in good condition. Most of the toilets are in good condition with slight water stains, but there are a few toilets with excessive stains. Most lavatory faucets have lost their polish finish and have water stains around the faucets and at the drain. There are a few lavatories with excessive stains and most faucets are water stained and show signs of the chrome finish pitting. With respect to the shower tubs and trims, some of the joint caulking is coming apart from the tub surround. The valve assembly shows signs of the chrome finish pitting and some of the valves are badly water stained and have lost their luster. Some of the shower heads have been replaced with hand-held type showers. Most of the bathroom fans are in good condition, but some are noisy and slow to start. The water heaters are in good condition, but there were a couple of loose connectors between the flue and the heater rooms and screens need cleaning and debris removed. The above ground gas piping at the gas meter and gas header are corroding because they have not been painted for some time. Each unit has a separate pressure reducer located in a valve box, but the boxes are filled with dirt which covers the pressure reducer completely. There are fire extinguishers with cabinets located outside at the main entry to each unit, and they are in good condition, although they had not been tested since November 1995. There have been some underground leaks in the copper water piping, which have been replaced with overhead polyethylene piping. The dryers are exhausted individually through the roof and the ducts are in good condition. Specific observations and items to be corrected are listed in the report.

Excerpts from the architect's report indicate that the current physical building and site quality are generally in above average condition considering the project's longevity. While building interiors are generally in above average condition with major comments related to time longevity and normal materials wear, the building exterior base conditions will require a prudent repair and maintenance effort to resolve whatever current repairs are necessary. Major building exterior and site issues involve relocating landscape irrigation spray and site drainage away from certain buildings. Typical conditions observed were materials deterioration or damage incurred from climate, time

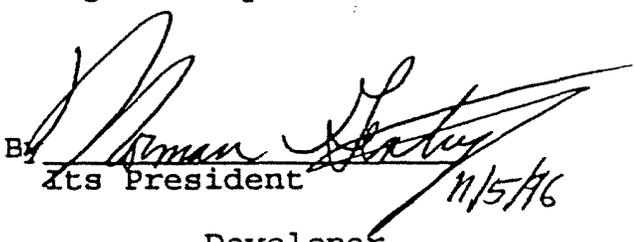
longevity and normal materials wear. It may be noted that during the original construction, 7 units were built to be adaptable for accessibility conversion, with larger width doors. Units 32D, 34A and 34C have already implemented some accessibility improvements by incorporation of rocker type light switches. Units 32B, 33D and 35A remain adaptable, however no accessibility modifications have been incorporated. Specific observations and items to be corrected are listed in the report.

The information set forth in this paragraph 7 is only a summary of the observations and recommendations made by the engineers and the architect in said Exhibit "C" and is not intended, nor should it be construed by its incorporation herein, to be a representation or warranty of the Developer or more important than any other observation or recommendation contained in said Exhibit "C" and not contained herein. Because the Project is being sold by the Developer in "AS IS" condition with "ALL FAULTS", each buyer should carefully review Exhibit "C" in its entirety. Furthermore, each buyer should inspect the buyer's Apartment and the Project or have the apartment and the Project inspected by buyer's own experts to buyer's complete satisfaction.

Dated: Honolulu, Hawaii, November 5, 1996.

GENTRY-ALANEO,
a Hawaii limited partnership

By: Gentry-Pacific, Ltd.
a Hawaii corporation
Its general partner

By: 
Its President

Developer

11/5/96

EXHIBIT "A"
 SUNPOINT, PHASE III
 Estimated Annual Common Expense

	<u>Monthly</u>	<u>Annual</u>
Utilities and Services		
Television		
Air Conditioning		
Electricity (common elements only)	\$282.00	\$3,384.00
Gas	\$12.00	\$144.00
Water and Sewer	\$2,696.00	\$32,352.00
Refuse Collection	\$868.00	\$10,416.00
Telephone/Communication	\$10.00	\$120.00
 Maintenance, Repairs, and Supplies		
Building	\$26.00	\$312.00
Grounds	\$1,412.00	\$16,944.00
 Management		
Management Fee	\$697.00	\$8,364.00
Payroll and Payroll Taxes	\$1,115.00	\$13,380.00
Office Expenses	\$232.00	\$2,784.00
 Insurance	\$2,256.00	\$27,072.00
 Reserves	\$3,537.00	\$42,444.00
 Taxes and Government Assessments	\$38.00	\$456.00
Professional Services - Audit	\$62.00	\$744.00
Other - Legal Expenses		
Security		
Amenities	<u>\$103.00</u>	<u>\$1,236.00</u>
 TOTAL	 <u>\$13,346.00</u>	 <u>\$160,152.00</u>

I, STEVE PEARMAIN, as agent and employment by CERTIFIED MANAGEMENT, INC., the condominium managing agent or the developer, for the condominium project SUNPOINT, PHASE III hereby certify that the above estimates of initial maintenance fee assessments and maintenance fee disbursements were prepared in accordance with generally accepted accounting principles.



 Steve Pearmain, Senior Community Association Manager

11/5/96

 Date

SUNPOINT, PHASE III
ESTIMATE OF INITIAL MAINTENANCE FEE
and
MAINTENANCE FEE DISTRIBUTION

ESTIMATE OF INITIAL MAINTENANCE FEE

<u>APARTMENT TYPE</u>		<u>Monthly Fee</u> <u>x 12 mos.</u>	<u>Yearly</u>
ST	0.8190	\$108.26	\$1,299.12
BD1	0.9530	\$125.97	\$1,511.64
BD2	1.4100	\$186.37	\$2,236.44

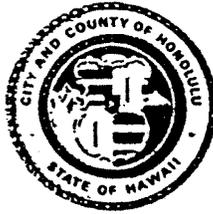
The Real Estate Commission has not reviewed the estimates of maintenance fee assessments and disbursements for their accuracy or sufficiency.

[] Revised on _____

BUILDING DEPARTMENT
CITY AND COUNTY OF HONOLULU

HONOLULU MUNICIPAL BUILDING
650 SOUTH KING STREET
HONOLULU, HAWAII 96813

JEREMY HARRIS
MAYOR



RANDALL K. FUJIKI
DIRECTOR AND BUILDING SUPERINTENDENT
ISIDRO M. BAQUILAR
DEPUTY DIRECTOR AND BUILDING SUPERINTENDENT

Ex96-85

August 2, 1996

Ms. M. Patrice Franks
Gentry Homes, Ltd.
560 N. Nimitz Highway
Honolulu, Hawaii 96817

Dear Ms. Patrice Franks:

Subject: SunPoint Condominium Conversion Project
94-1335 Kulewa Loop
Tax Map Key: 9-4-115: 36, 37, 38, 39, 40

This is in response to your letter dated May 28, 1996, requesting verification that the project to be known as SunPoint Condominium met all applicable code requirements at the time of construction.

Investigation revealed that the 44 structures consisting of 376 dwelling units with 498 off-street parking stalls, the recreation center and the maintenance shed located at the above-mentioned address met all applicable code requirements when they were constructed in 1986 and 1987.

Special permit No. 85/SP-82 for joint development was approved on December 18, 1985.

For your information, the Building Department cannot determine whether this project contains any legal nonconforming uses or structures as a result of the adoption or amendment of any ordinances or codes.

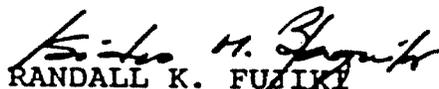
No variances or other special permits were granted to allow deviations from any applicable codes.

EXHIBIT "B"

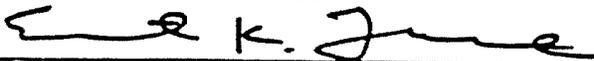
Ms. M. Patrice Franks
August 2, 1996
Page 2

If you have any questions regarding this matter, please
contact Mr. Ivan Matsumoto of this office at telephone 527-6341.

Very truly yours,


FOR RANDALL K. FUJIKI
Director and Building
Superintendent

Subscribed and sworn to
before me this 12th day of
August, 1996.



Notary Public, First Judicial Circuit
State of Hawaii

My commission expires: June 21, 1999

EXHIBIT "C"



Sueda & Associates, Inc./Architects and Planners

Lloyd T. Sueda, AIA
Michael R. Wong, AIA Associate
Byron T. Tsunoda, AIA Associate
Robert S. Nitta, AIA Associate

GENTRY - SUNPOINT ALABAMA

ARCHITECTURAL SUMMARY, AUGUST 2, 1984

The subject 376 Unit project was constructed approximately 10 years ago, sequenced in S-Increments. Current physical building and site quality is generally in above average condition considering the projects longevity. Our observation review included a sampling of 2 each 4-plex, 4 each 8-plex, 2 each 12-plex building unit interiors, building exteriors, carports and site improvements. Our report includes our recommendations for correction of discrepancies observed. We have not included any recommendations to upgrade work to comply with the current building code.

During the original construction seven units were built to be adaptable for accessibility conversion, with larger width doors. Units 32D, 34A and 36C have already implemented some accessibility improvements by incorporation of rocker type light switches. Units 32B, 33D and 35A remain adaptable however with no accessibility modifications incorporated.

While building unit interiors are generally in above average condition with major comments related to time longevity and normal materials wear, the building exteriors base conditions will require a prudent repair and maintenance effort to resolve whatever current repair are necessary. Major building exterior and site issues involve relocating landscape irrigation spray and site drainage away from certain buildings. Typical conditions observed during our walk-through with materials deterioration or damage incurred from climate, time longevity and normal materials wear include the following:

BUILDING ARCHITECTURAL INTERIORS

GENERAL CONDITIONS:

1. Some lower kitchen cabinets, especially at conditions below the sink observed with signs of delamination of the particle board surface. While some face panels and doors have been replaced, new material finish does not match existing in color tone. Color matched replacement may be desirable.
2. Some self edge plastic laminate counter-tops are either scarred or worn from use over time. Recommend replacement of the scarred or worn counter-tops with new plastic laminate finished surface.
3. Some upper cabinet doors above sink and range are worn at exposed bottom corners. Replacement w/new cabinet doors or retrofit of new protective plastic corner guards may be desirable.
4. Some mini blind blades bent or broken. Recommend assembly unit replacement with new to match existing.
5. Ground level window glass lites have been water stained from landscape irrigation overspray. Recommend replacement of tarnished glass lites with new to match existing. Redirect the landscape irrigation spray heads.
6. Some towel bars in bath, metal finish is tarnished from wear. Replacement may be desirable.
7. Some sliding door screens have been damaged from wear. Recommend replacement as necessary.
8. Some window screens damaged from wear. Recommend replacement with new to match existing.
9. Underside of Second Floor Lanai deck soffit edge separating at some conditions. Recommend sealing separation as necessary with a flexible caulking.
10. No visible signs of termite damage on building interior observed.
11. No visible signs of water irrigation and/or infiltration observed, with exception of some minor water stains at the underside of 2nd story lanai deck and stair soffit conditions.

BUILDING ARCHITECTURAL EXTERIORS

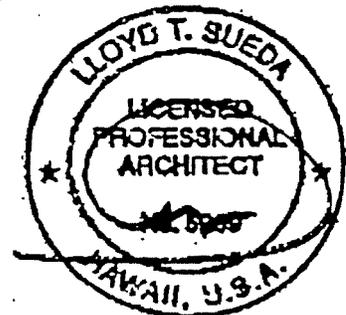
GENERAL CONDITIONS:

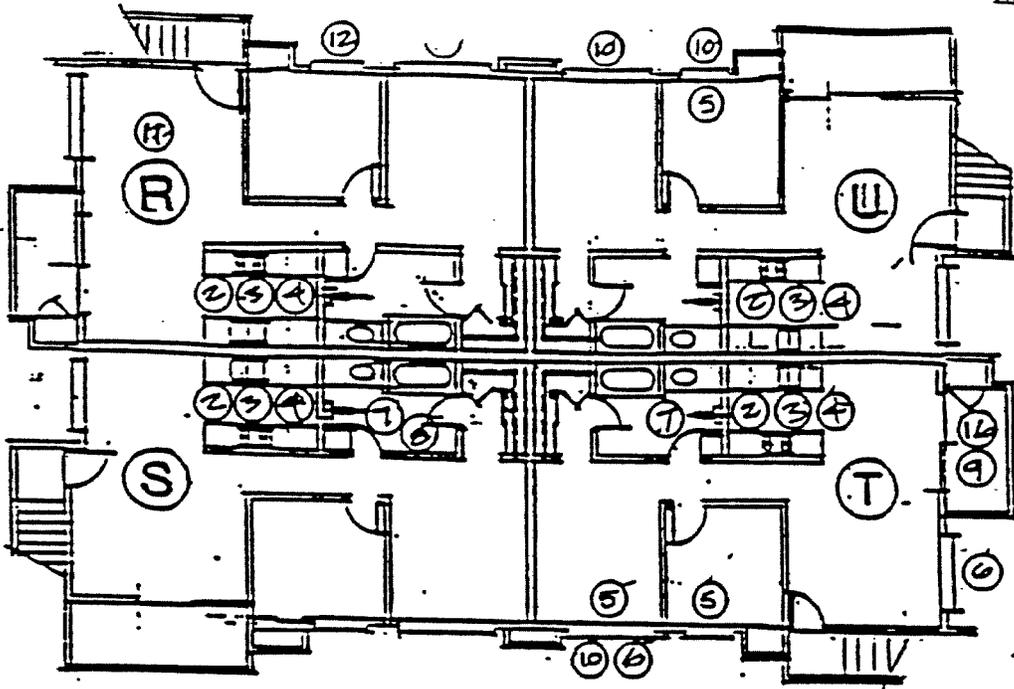
1. Some exterior siding at the base of building have incurred water damage. Factors contributing to the exterior masonite siding deterioration include landscape irrigation overspray and water ponding at conditions adjacent to the building exterior. Retrofit of exterior base in painted wood base trim or replacement of panel may be desirable. Redirection of irrigation spray heads and introduction of new drainage swales with slopes directed away from the building will help to reduce water build-up on building exterior skin.
2. Some electrical room exterior masonite sliding doors have incurred water damage. Refer to recommendations provided in Item no. 1.
3. Some wood shake roofing members observed with signs of curling @ various locations. Recommend replacement of affected pieces as required. (Refer to Fiddler Roofing proposal dated 5-23-96).
4. Some eave ventilation screens observed corroded, rusted and rotted out. At various conditions screens have been broken, allowing birds to enter and nest in the building attic void space. Recommend replacement of damaged screens with a perforated vinyl vent material.
5. Rusted nail heads telegraphing through the exterior paint finish have been observed. Some treatment (with rust inhibitor) or removal of rusted nails and replacement with new hot dipped galvanized nails may be necessary.
6. Some exposed painted metal at carports observed with rust incurring at various locations. Recommend rust removal down to bare metal and repainting w/rust inhibitor material.
7. Exterior stair tread metal supports and lag screws observed with rust development. Some treatment (with rust inhibitor) or removal of rusted members and replacement with new to match existing may be necessary.
8. Window type air conditioning units occupant furnished with condensate drips adjacent to building exterior observed. Recommend drip outlets be routed away from building edge to reduce potential of termite migration into building. Areas of moisture accumulation are prime potential locations for subterranean termite nesting.
9. No visible signs of termite damage on building exterior observed.

SITE ARCHITECTURAL

GENERAL CONDITIONS:

1. Some rust formation and deterioration of handrail posts and support connections have been observed. Recommend rust removal to bare metal or partial post replacement as required to match existing installation. Paint all repaired or replacement pieces with rust inhibitive paint.
2. Some sidewalk slab cracks and uplift from adjacent aggressive tree root systems. Some treatment or removal of tree root portion affecting sidewalk and new replacement concrete slab portion to match existing may be necessary.
3. Some existing sewer clean-out caps observed projecting above finished surface of walkway slab observed. Condition is a tripping hazard and potential liability. Recommend either lowering of clean out cap or raising of concrete slab finish to a flush condition.
4. Some mailbox support posts and bases rusted. Recommend rust removal to bare metal or partial post/base replacement as required to match existing. Paint all repaired or replacement pieces with rust inhibitive paint.
5. Building identification sign posts imbedded directly in ground with termite damage.
6. On-site parking generally conforms to the original construction drawing plan with exception of two standard stalls converted to accessible aisle spaces. - See Site Plan.



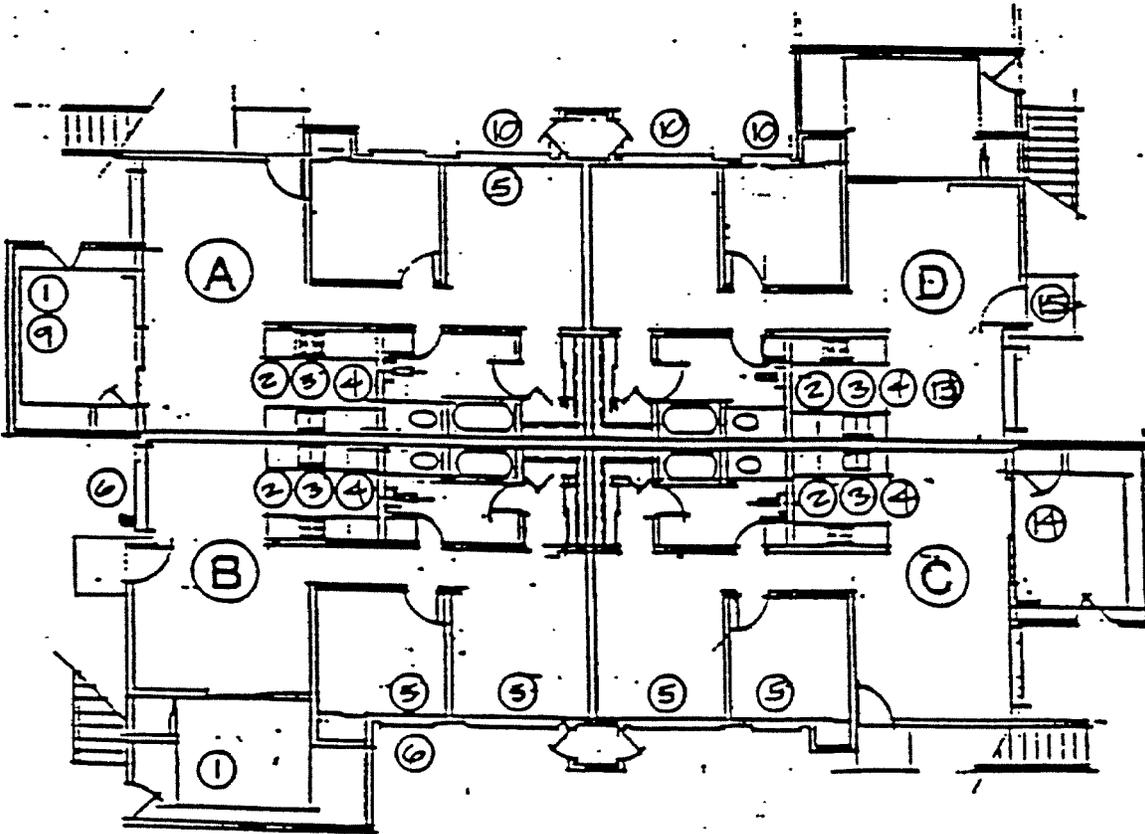


SECOND FLOOR PLAN
 SC: 1/16" = 1'-0"

INCLUSION NOTES:

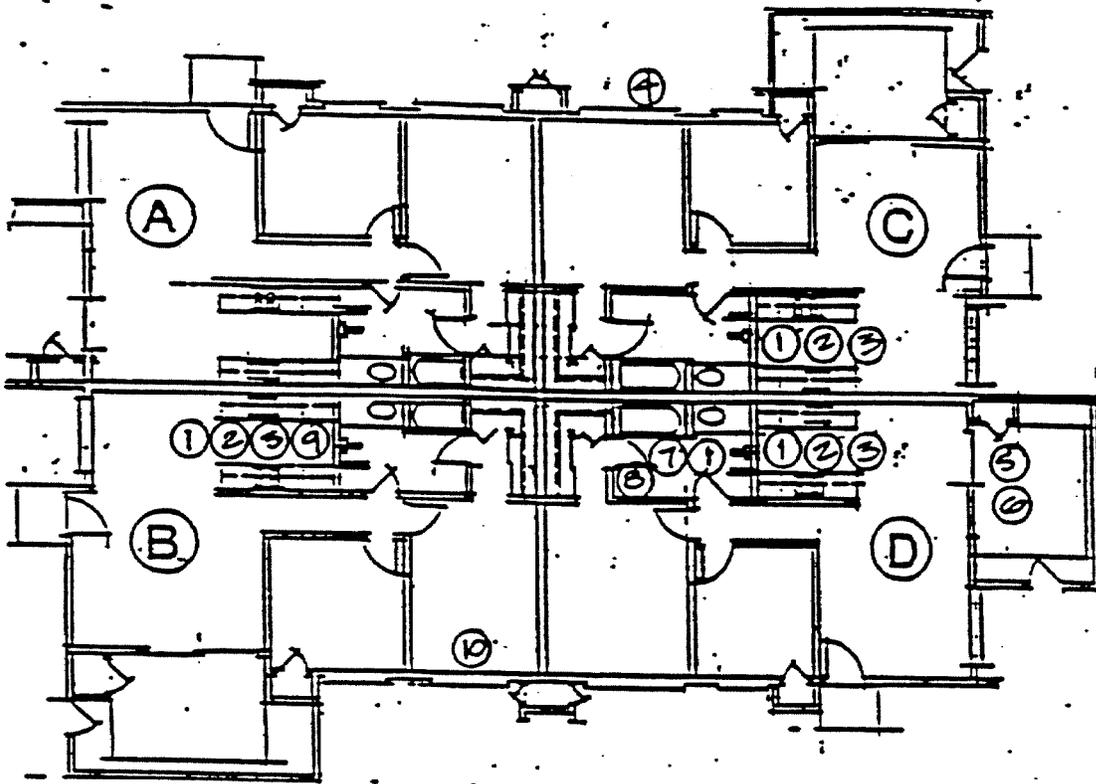
- * Replacement may be desirable.
- ** Replacement may be necessary.

- A1- Deck soffit edge trim separation. Caulk w/flexible sealant.
- A2- Lower cabinets water damaged and finish mismatched at face.
- A3- P-lam countertop scarred.
- A4- Upper cabinet doors above sink, edge conditions worn. Replacement of cabinet doors may be necessary or add ne corner protection guards.
- A5- Mini blind blades bent. Replace damaged assembly unit w/new to match existing.
- A6- Window glass water stained.
- A7- Medicine cabinet mirror door finish pitted.
- A8- Towel bar finish tarnished.
- A9- Sliding door screen damaged. Replace w/new.
- A10- Window screen damaged replace w/new screen.
- A11- Carpet appears worn and dirty.
- A12- Window screen frame warped. Replace w/new to match existing or correct warped condition.
- A13- Light diffuser lens warped. Replace w/new to match existing.
- A14- Wasp nest on Lanai exterior wall. Remove nest and touch-up paint to match existing.
- A15- Automatic door closer missing. ? new to match existing.
- A16- Screen door latch does not engage. Repair or replace as required.



FIRST FLOOR PLAN
 SC: 1/16" = 1'-0"

8-PLEX BUILDING #7
GENTRY SUNPOINT ALANEO



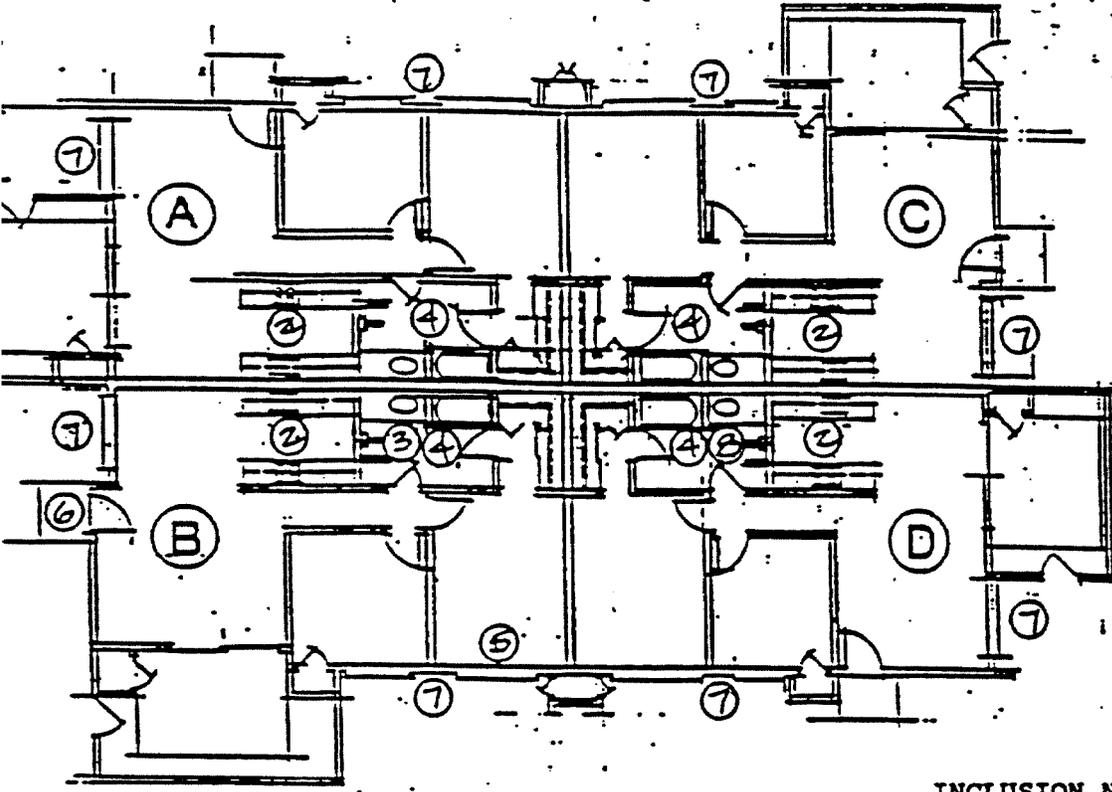
FIRST FLOOR PLAN
SC: 1/16" = 1'-0"

- A1- Lower cabinets water damaged and finish mismatched at face condition. *
- A2- Upper cabinet doors above sink, edge conditions worn. Repair of cabinet doors may be necessary or add new corner protection guards.
- A3- P. Lam countertop scarred. *
- A4- Window glass water stained. *
- A5- Sliding screen door operation untracks. Adjust door guide or may replace w/new door leaf.
- A6- Sliding door screen damaged. Replace w/new screen.
- A7- Medicine cabinet mirror door finish pitted. **
- A8- Upper cabinet door leafs. Do not match melamine finish colors differ. **
- A9- Light diffuser lens warped. Replace w/new to match existing.
- A10- Mini blind blades bent. Replace damaged assembly unit w/new to match existing.

INCLUSION NOTES:

- * Replacement may be desirable.
- ** Replacement may be necessary.

- A1- Deck soffit edge trim separation. Caulk w/Flexible sealant.
- A2- Lower cabinets * water damaged and mismatched at face condition.
- A3- Mirror finish at ** Vanity pitted.
- A4- Towel bar finish * tarnished.
- A5- Window frame trim dented. Correct warped condition o frame.
- A6- Entry door surface chipped. Patch an. touch-up paint.
- A7- Window glass water * stained.
- A8- Toilet paper holder missing. Replace.



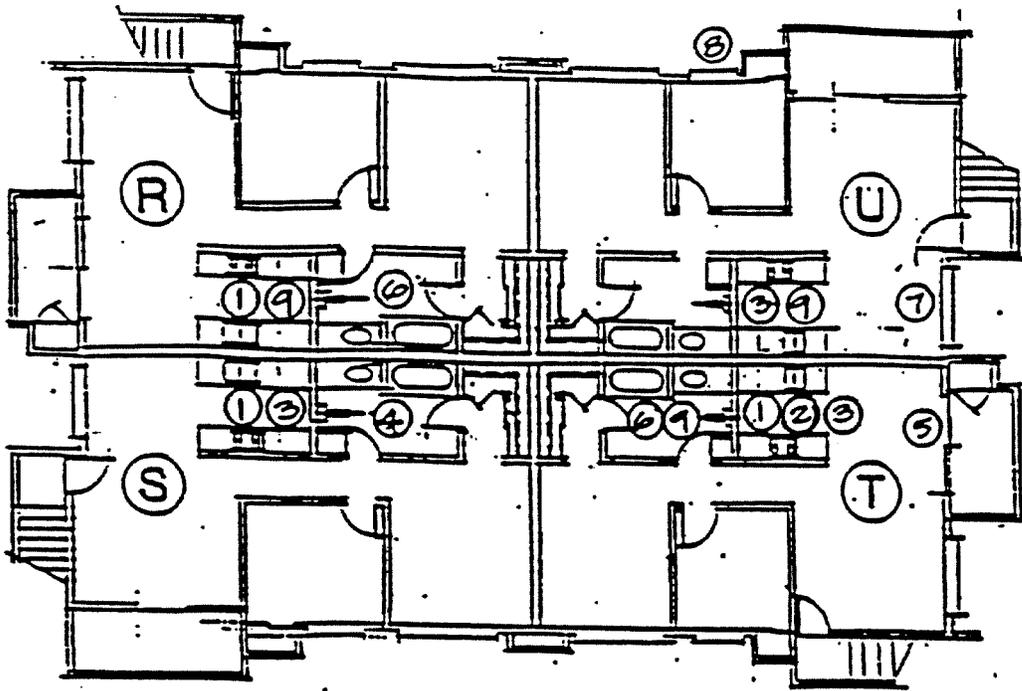
INCLUSION NOTES

- * Replacement may be desirable.
- ** Replacement may be necessary.

FIRST FLOOR PLAN
SC:1/16"=1'-0"

4-PLEX BUILDING #12
GENTRY SUNPOINT ALANEO

SUEDA & ASSOCIATES INC



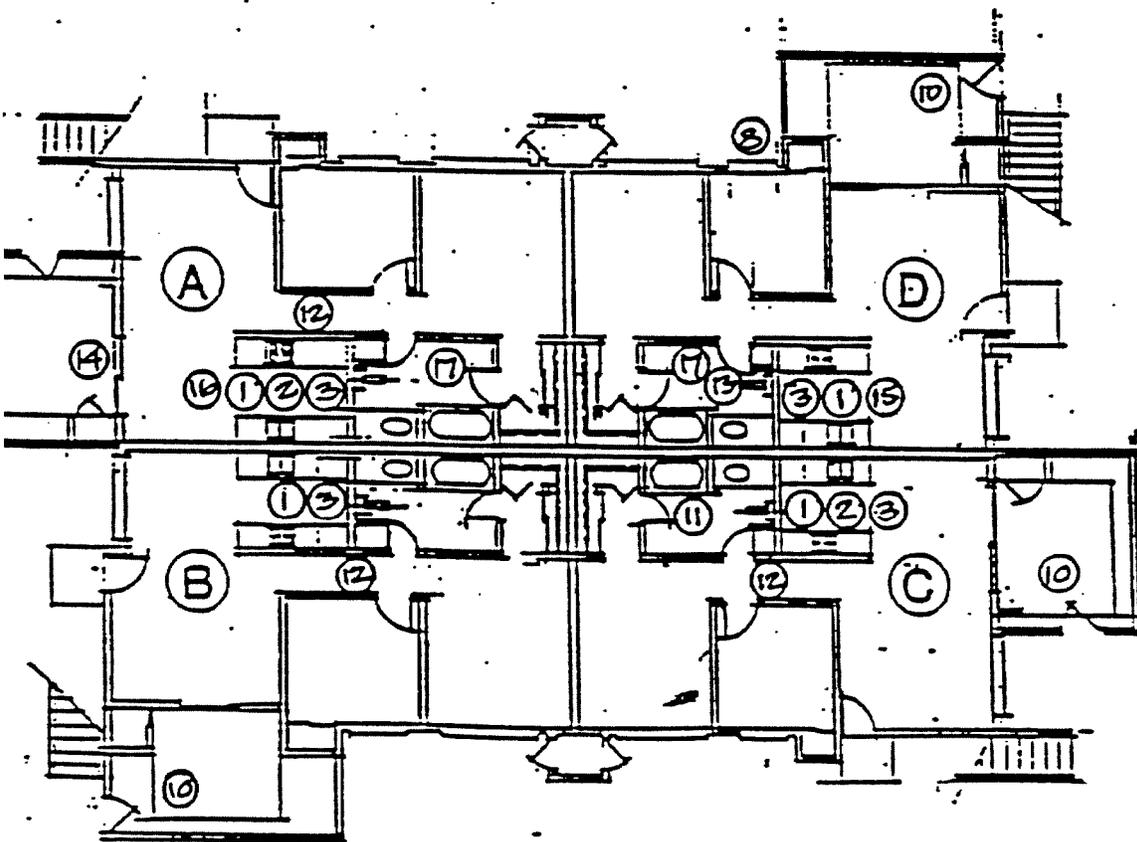
SECOND FLOOR PLAN

SC: 1/16" = 1'-0"

INCLUSION NOTES:

* Replacement may be desirable.

- A1- Upper cabinet doors above sink, edge conditions worn. Replacement of new cabinet doors may be necessary or add new corner protection guards.
- A2- Light diffuser lens warped.
- A3- Lower cabinets water damaged and mismatched at face condition.
- A4- Mirror finish at vanity pitted.
- A5- Sliding door jamb bent @ screen latch. Repair warped condition.
- A6- Medicine cabinet mirror door finish pitted.
- A7- Mini blind blades bent. Replace damaged assembly unit w/new to match existing.
- A8- Window screen damaged. Replace w/new screen.
- A9- Drawer face edge worn.
- A10- Deck soffit edge trim separation. Caulk w/flexible sealant.
- A11- Tub/Bath wall separation caulk w/flexible sealant.
- A12- Patch opening in Gyp. Board ceiling to match existing.
- A13- Lower cabinet door face edges frayed.
- A14- Sliding door screen damaged. Replace w/new screen.
- A15- P.Lam counter top surface burned. Replace w/new to match existing.
- A16- P.Lam counter top bull nose chipped.
- A17- Touch-up paint around light switch



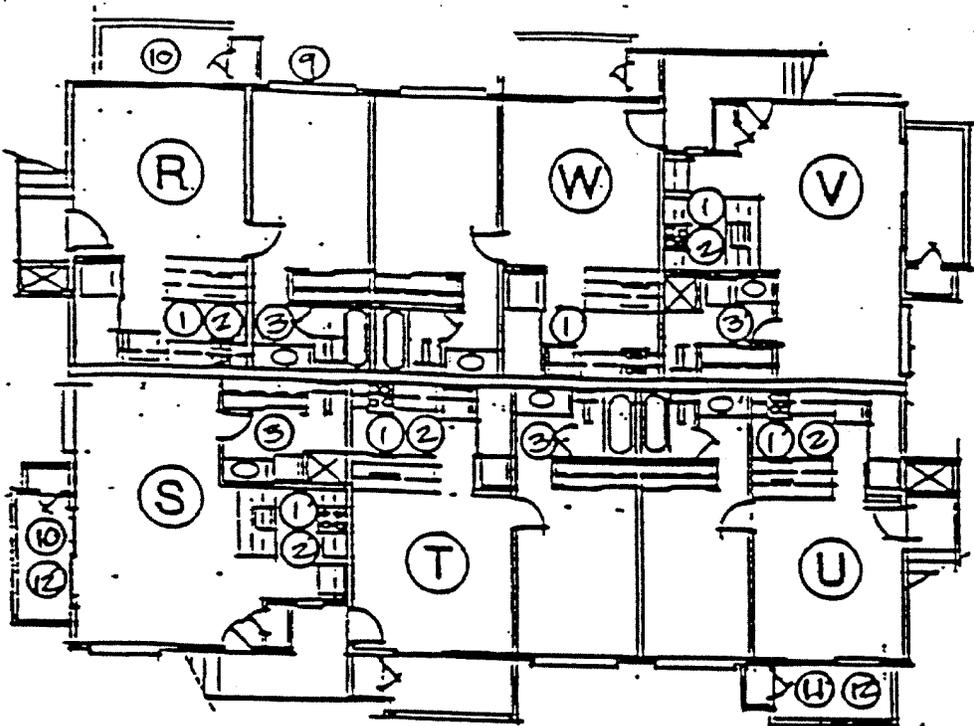
FIRST FLOOR PLAN

SC: 1/16" = 1'-0"

8-PLEX BUILDING #16

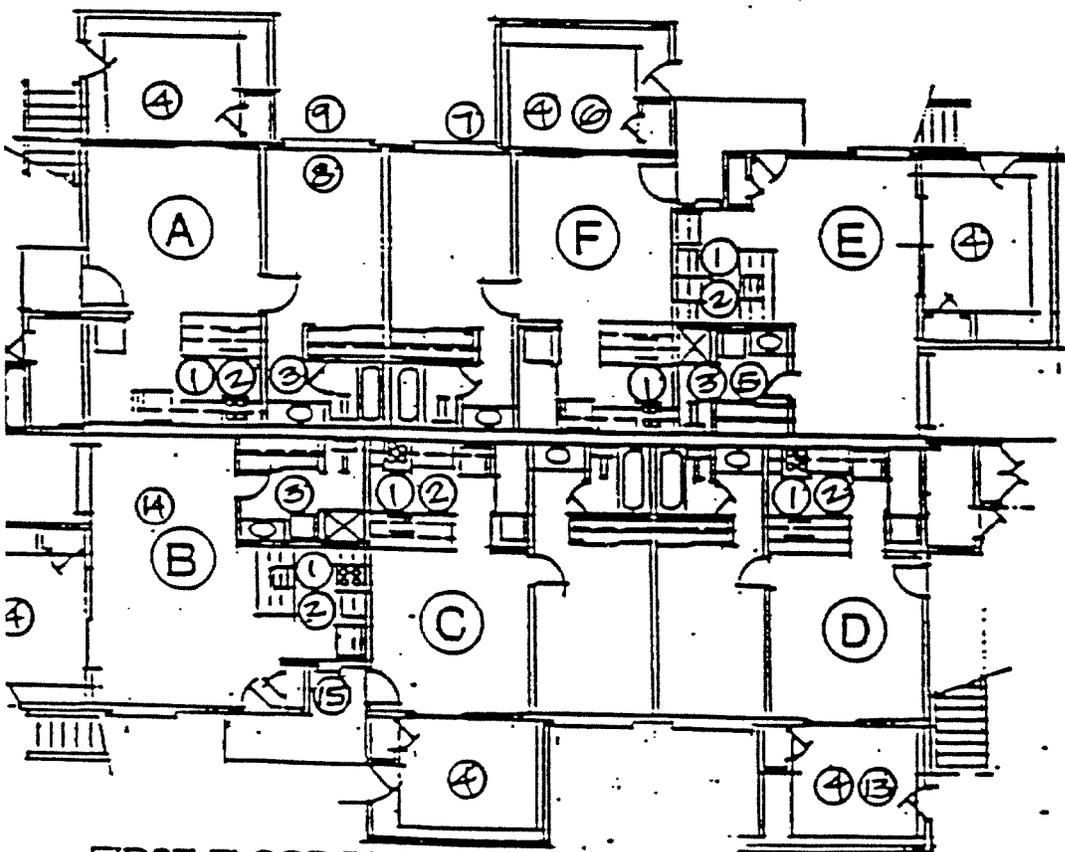
GENTRY SUNPOINT ALABAMA

Architectural Interiors Comments



SECOND FLOOR PLAN
SC: 1/16" = 1'-0"

- A1- Lower cabinets water damaged and finish mismatched at face condition.
- A2- P.Lam counter top scarred.
- A3- Medicine cabinet mirror door finish pitted.
- A4- Deck soffit edge trim separation. Caulk w/flexible sealant.
- A5- Mirror finish at vanity pitted.
- A6- Water stains at deck soffit. Test deck for potential water leaks and repairs as required.
- A7- Window glass water stained.
- A8- Mini blind blades bent. Replace damaged assembly unit w/new to match existing.
- A9- Window screen damaged. Replace w/new screen.
- A10- Sliding door screen damaged. Replace w/new.
- A11- Sliding door screen frame warped. Repair warped condition.
- A12- Mildew growth @ exterior deck wall. Clean w/ appropriate cleaners and touch-up paint.
- A13- Sliding screen door operation rough. Repair or replace w/new to match existing.
- A14- Carpet appears worn and dirty.
- A15- Window screen and frame is missing. Replace to match exist.

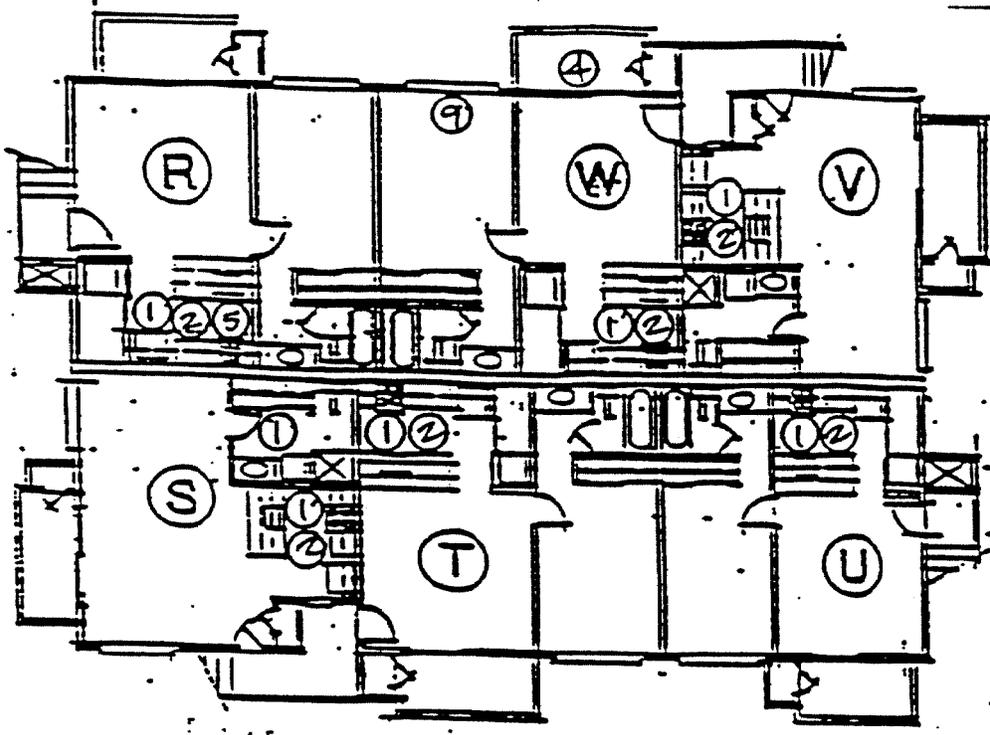


FIRST FLOOR PLAN
SC: 1/16" = 1'-0"

INCLUSION NOTE:

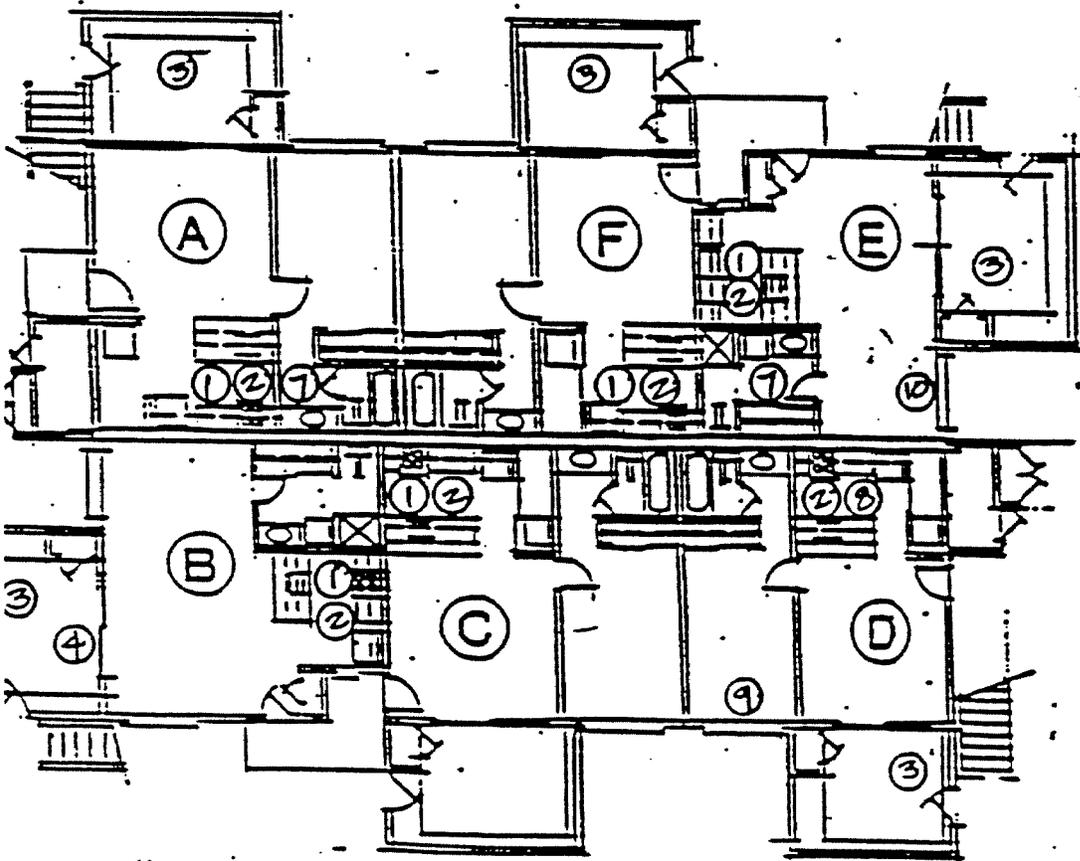
* Replacement may be desirable.

12-PLEX BUILDING # 24
GENTRY SUNPOINT ALANEO



SECOND FLOOR PLAN

SC: 1/16" = 1'-0"



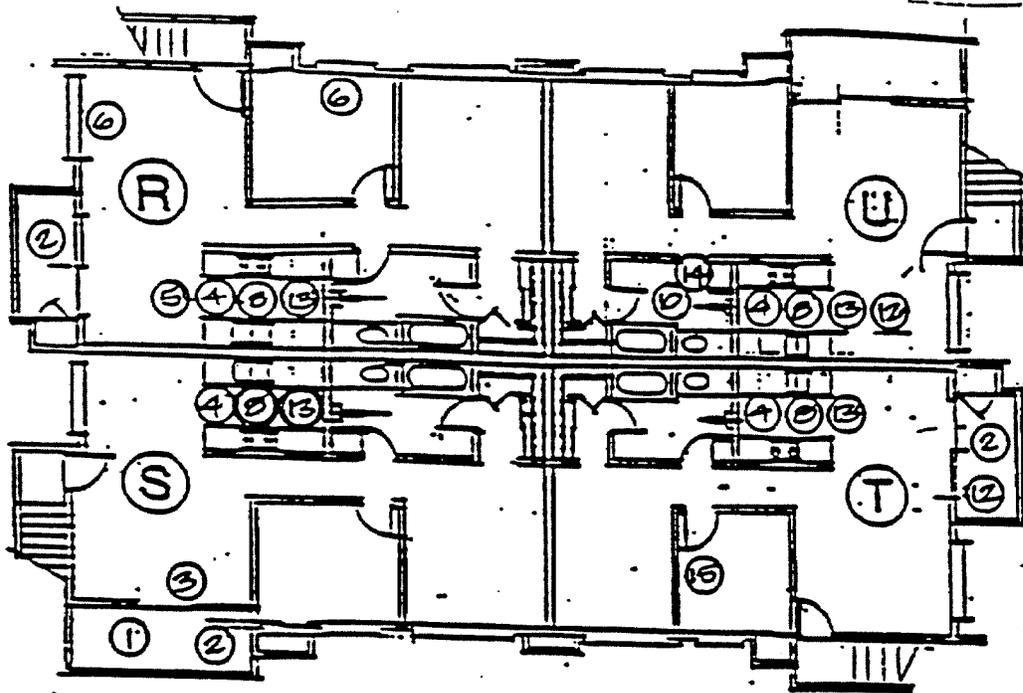
FIRST FLOOR PLAN

SC: 1/16" = 1'-0"

- A1- P.Lam counter-top scarred.
- * A2- Lower cabinets water damaged and finish mismatched at face.
- A3- Deck soffit edge trim separation. Caulk w/flexible sealant.
- A4- Sliding door screen damaged. Replace w/new pane.
- A5- Range top finish, paint worn at edge. Touch-up.
- A6- Deck soffit edge trim separation. Caulk w/flexible sealant.
- A7- Medicine cabinet mirror door finish pitted.
- * A8- Upper cabinet doors above sink, edge conditions worn.
- A9- Mini blind blades bent. Replace damaged assembly unit w/new to match existing.
- A10- Window glass water stained.
- *

INCLUSION NOTE:

* Replacement may be desirable.

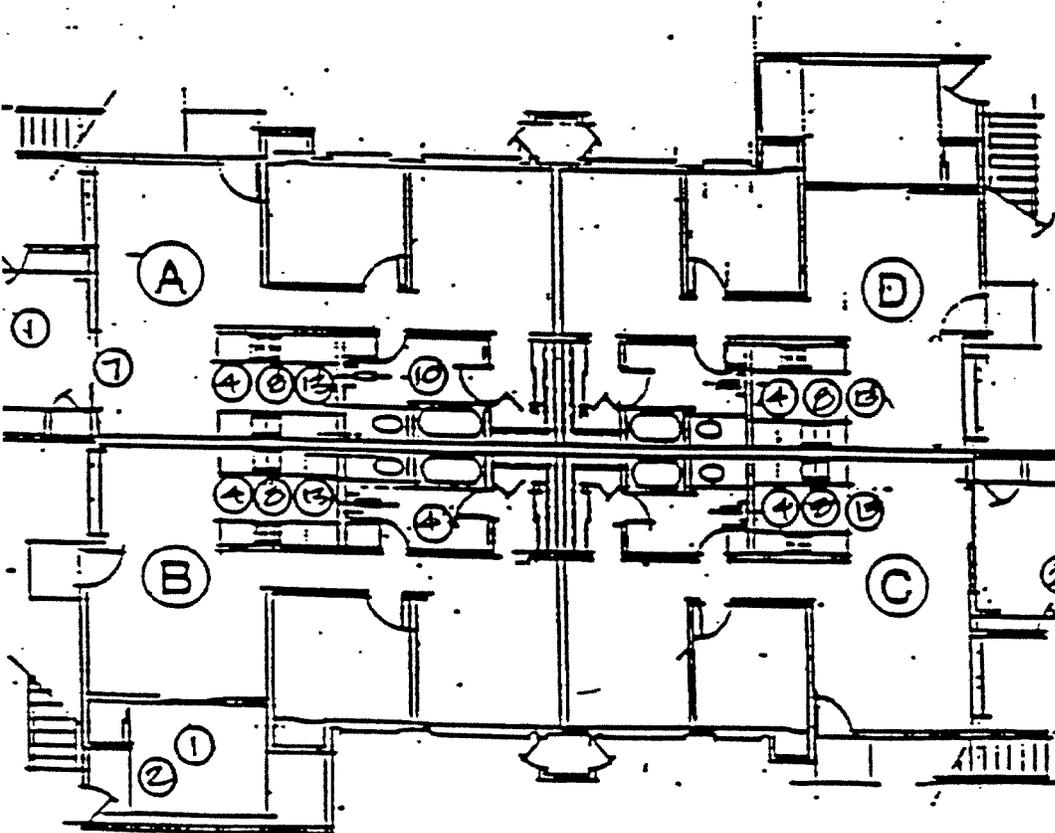


SECOND FLOOR PLAN
SC: 1/16" = 1'-0"

INCLUSION NOTE:

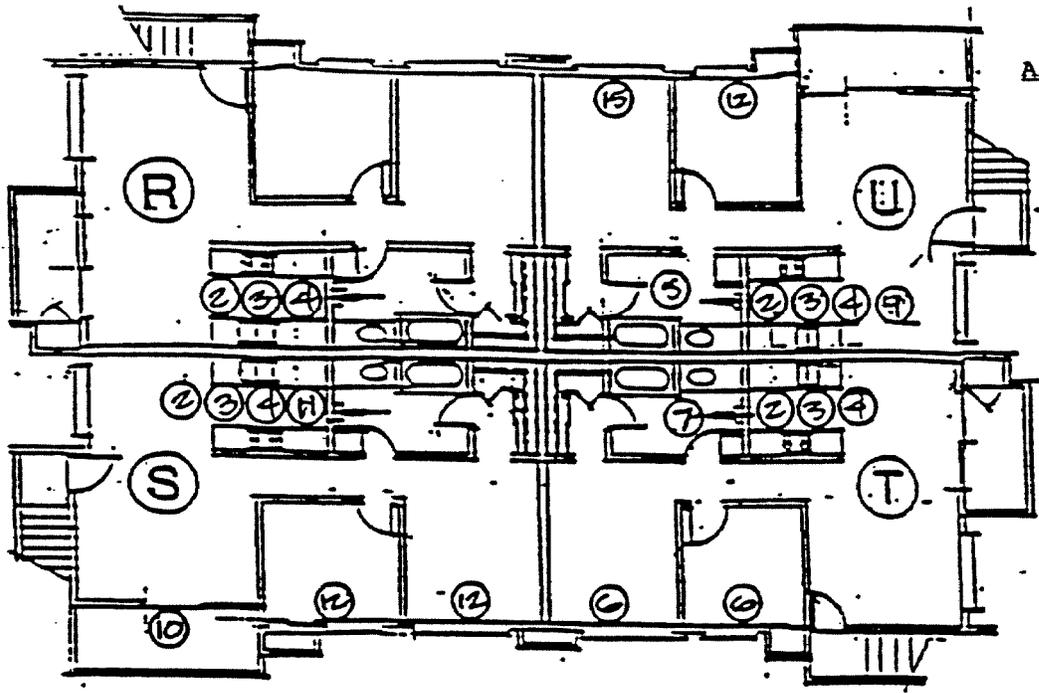
* Replacement may be desirable.

- A1- Touch-up paint at ceiling.
- A2- Wasp nest on Lanai exterior wall. Remove nest and touch-up paint to match existing.
- A3- Sliding door screen * damaged. Replace w/new.
- A4- Lower cabinets water damaged and finish mismatched at face.
- A5- Patch scar in Gyp. Board wall and touch-up.
- A6- Mini Blind blades bent. Replace damage assembly unit w/new to match existing.
- A7- Sliding door screen latch does not engage. Repair or replace w/new to match existing.
- A8- Upper cabinet doors above sink, edge conditions worn.
- A9- Light diffuser lens cracked. Replace w/new to match existing.
- A10- * Towel bar finish tarnished.
- A11- Deck soffit edge trim separation. Caulk w/flexible sealant.
- A12- Sliding door screen frame warped. Repair warped conditions.
- A13- * P.Lam counter top scarred.
- A14- Patch Gyp. Board wall and touch-up paint to match existing.
- A15- Door stop hardware missing w/hole punctured in Gyp. Board wall. Install door stop and patch Gyp. Board wall to match existing.



FIRST FLOOR PLAN
SC: 1/16" = 1'-0"

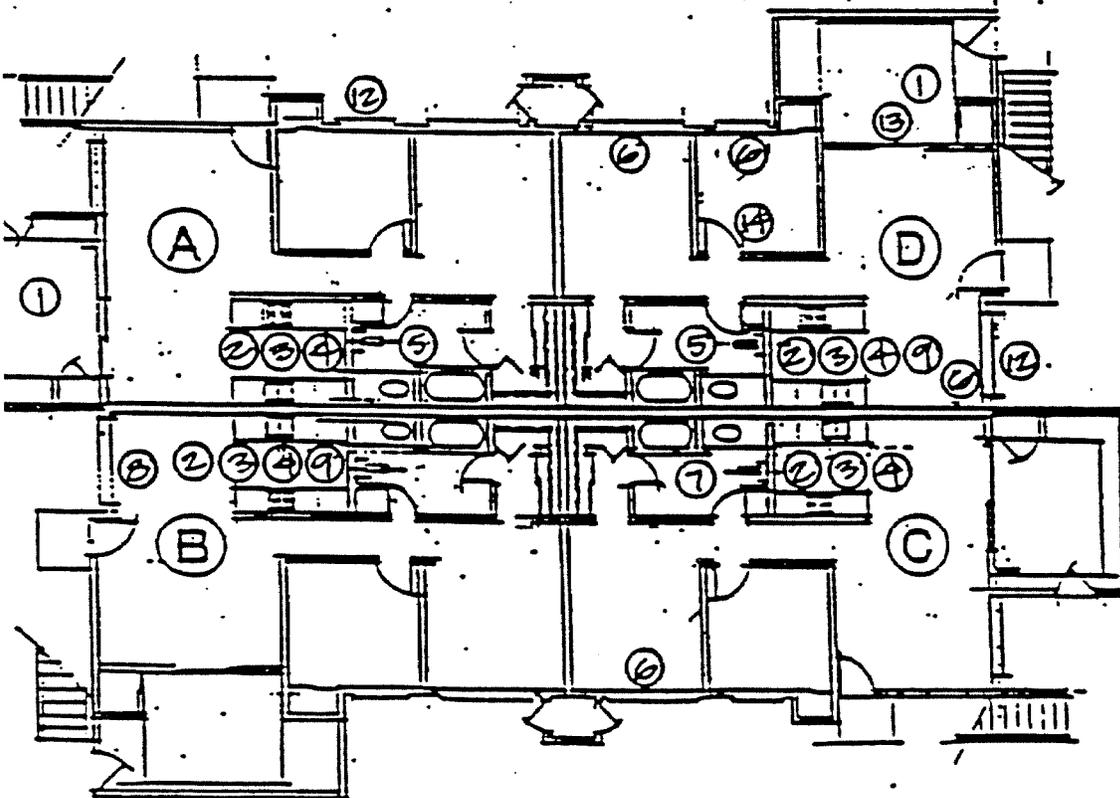
8-PLEX BUILDING #39
GENTRY SUNPOINT ALANEO



Architectural Interiors Comments

- A1- Deck soffit edge trim separation caulk w/flexible sealant.
- A2- P.Lam counter top scarred.
- A3- Lower cabinets water damaged at face condition.
- A4- Upper cabinet doors above sink, edge condition worn. Replacement of cabinet doors may be necessary or add new corner protection guards.
- A5- Medicine cabinet mirror door finish pitted.
- A6- Mini blind blades bent. Replace damage assembly unit w/new to match existing.
- A7- Towel bar finish tarnished.
- A8- Window glass water stained.
- A9- Lower cabinets face mismatches.
- A10- Sliding door aluminum threshold pitted.
- A11- Light diffuser lens cracked. Replace w/new to match existing.
- A12- Window screen frame pitted.
- A13- Screen dock frame broken. Replace to match existing.
- A14- Door stop hardware missing. Replace w/ to match existing.
- A15- Window screen damage Replace w/new screen

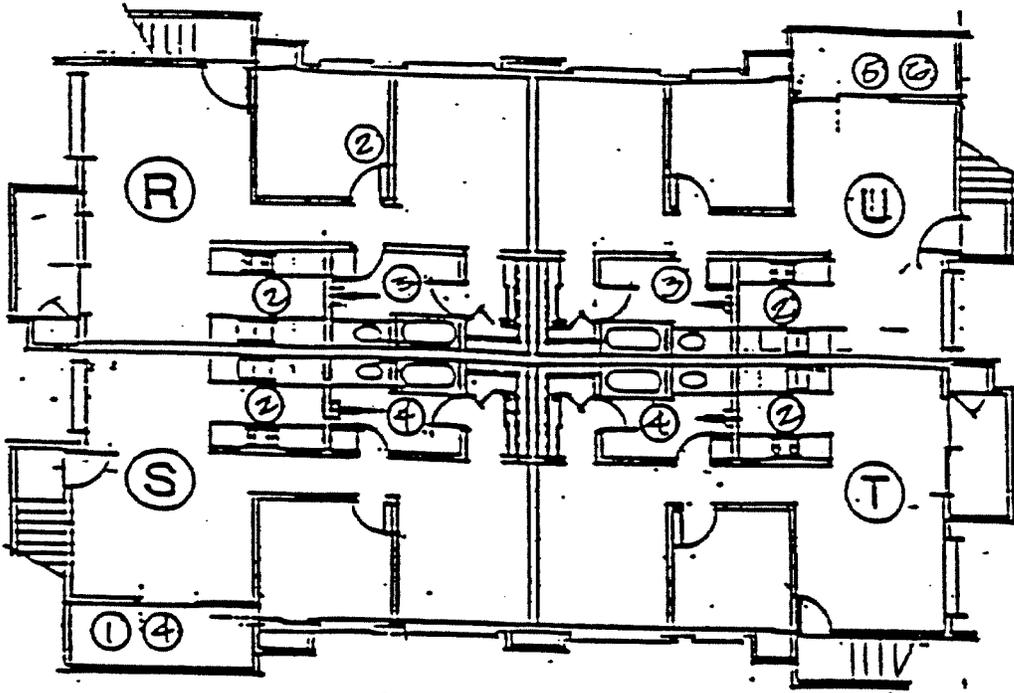
SECOND FLOOR PLAN
SC: 1/16" = 1'-0"



FIRST FLOOR PLAN
SC: 1/16" = 1'-0"

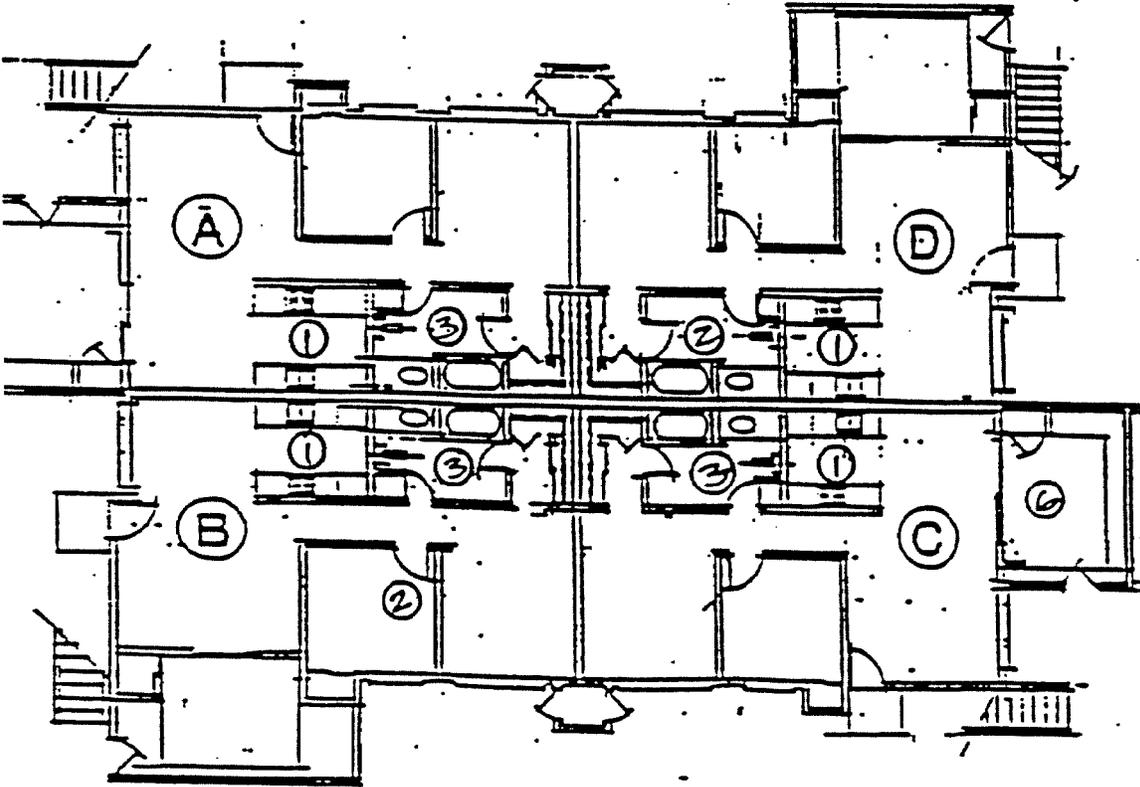
INCLUSION NOTE:
* Replacement may be desirable.

8-PLEX BUILDING #41
GENTRY SUNPOINT ALANEO



- A1- Lower cabinets
* water damaged and mismatched at face condition.
- A2- Door stop hardware missing with hole punctured in Gyp. Board wall. Install door stop and patch Gyp. Board wall, to match existing.
- A3- Towel bar finish
* tarnished.
- A4- Exterior wall dusty with accumulation of soot and minor paint peeling. Remove dust and loose paint. Prep wall and repaint to match existing.
- A5- Wasp nest on Lanai exterior wall. Remove nest and touch-up paint to match existing.

SECOND FLOOR PLAN
SC: 1/16" = 1'-0"



FIRST FLOOR PLAN
SC: 1/16" = 1'-0"

INCLUSION NOTE:

* Replacement may be desirable.

8-PLEX BUILDING #45
GENTRY SUNPOINT ALANEO

ARCHITECTURAL BUILDING EXTERIOR
TYPICAL COMMENTS

1. Exterior siding at base of exterior wall water damaged. Replace w/new to match existing.
2. Roof shake material beginning to curl @ various conditions. Replace affected portions as required.
3. Eave ventilation screen corroded, rusted and rotted out. Replace as required to match existing.
4. Storage room and electrical enclosure room doors water damaged. Replace w/new to match existing.
5. Rusted nail heads telegraphing through paint finish. Remove and replace rusted nails as necessary. Touch-up paint.
6. Unit slab-on-grade crack observed w/ $\frac{1}{16}$ " to $\frac{1}{32}$ " range. See structural portion of report for recommended fix.
7. Carport metal post and beam saddles w/rust spots. Remove rust to base metal spot prime and touch-up paint.
8. Underside of stair soffit water damaged. Replace if required to match existing.
9. Exterior paint blistered and peeling at various locations.
10. Exterior perimeter grade around building incurring ponding. Redirect swale to flow away from building.
1. Stair thread supports and lag screws rusting. Replace w/new as required.
2. Stair stringer @ bottom w/wood checks occurring due to water saturation build-up @ condition.
3. A.C. wall unit condensate drips w/outlet recesses adjacent to building footprint is not recommended. Due to potential termite infestation. Recommend condensate outlets be redirected away from building perimeter.
4. Window type A.C. unit supported by wood post resting and exterior grade installation not acceptable. Remove post from contact w/grade. Mount unit to window frame
5. Garage Roof. Fascia damaged.

ARCHITECTURAL SITE COMMENTS

1. Landscape light fixture damaged. Repair or replace w/new to match existing.
2. Repaint site handrails - TYPICAL
3. Bottom of rail post rusted. Remove rust treat & repaint.
4. Bottom of rail post rotted out replace damaged portions or replace w/new to match existing.
5. Sidewalk uplift and cracks cut and remove portion of aggressive tree roots as required. Reconstruct damaged portion of sidewalk to match existing.
6. Sewer clean out, projecting above sidewalk finish elevation. Lower cap or raise portion of sidewalk.
7. Mailbox post rusted and base plate rotted. Replace affected damaged portions, as required.
8. Stair thread corner chipped @ post mount condition. Patch & restore damaged portion as required.
9. Corner of sidewalk swale chipped, patch damaged portion as required.
10. Sidewalk uplift crack @ top of stair landing. Cut and remove aggressive tree roots as required. Reconstruct damaged portion of sidewalk to match existing.
11. Holes in existing concrete. Sidewalk finish. Patch as required.
12. Sidewalk settlement @ catch basin cold joint. Cut & remove aggressive tree roots as required. Reconstruct damaged portion of sidewalk to match existing.

KOKEA ENGINEERING, INC.

1602 Auiki Street, Bldg. A
Honolulu, Hawaii 96819
Phone: (808) 847-8875
Fax: (808) 842-4455

July 25, 1996

Sueda & Associates, Inc.
905 Makahiki Way, Mauka Suite
Honolulu, Hawaii 96826-2869

Attn: Mr. Robert Nitta

**Subject: Structural Report for the
GENTRY SUNPOINT-ALANEO COMPLEX**

Gentlemen:

Attached is a summary of the structural portion of the walk-thru inspection of 9 buildings of the SUNPOINT complex. In addition to the actual walk-thru of each unit within these buildings, we were able to review the construction plans for the typical 4-, 8-, and 12-plex buildings.

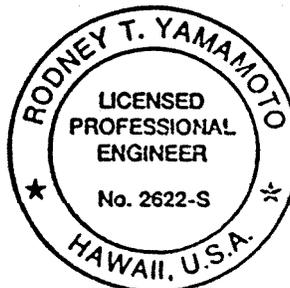
The report includes our recommendations for correcting those discrepancies noted. We have not concerned ourselves with recommendations for any upgrading work to comply with the current building code.

If you have any questions or need further clarification please do not hesitate to call me.

Sincerely,

KOKEA ENGINEERING, INC.

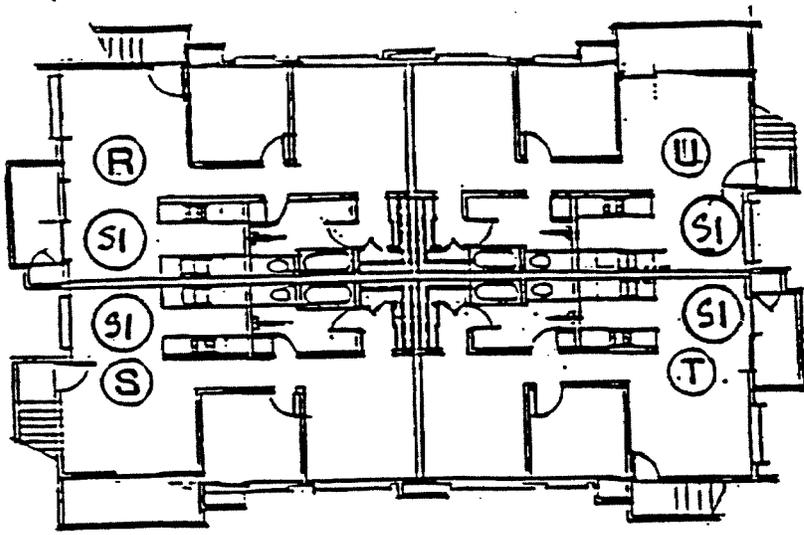

Rodney T. Yamamoto
President



STRUCTURAL ASSESSMENT SUMMARY

The 9 buildings that were inspected were in very good structural condition. We did not observe any signs of cracking or separation. The typical structural conditions that require repair or reinforcement are as follows:

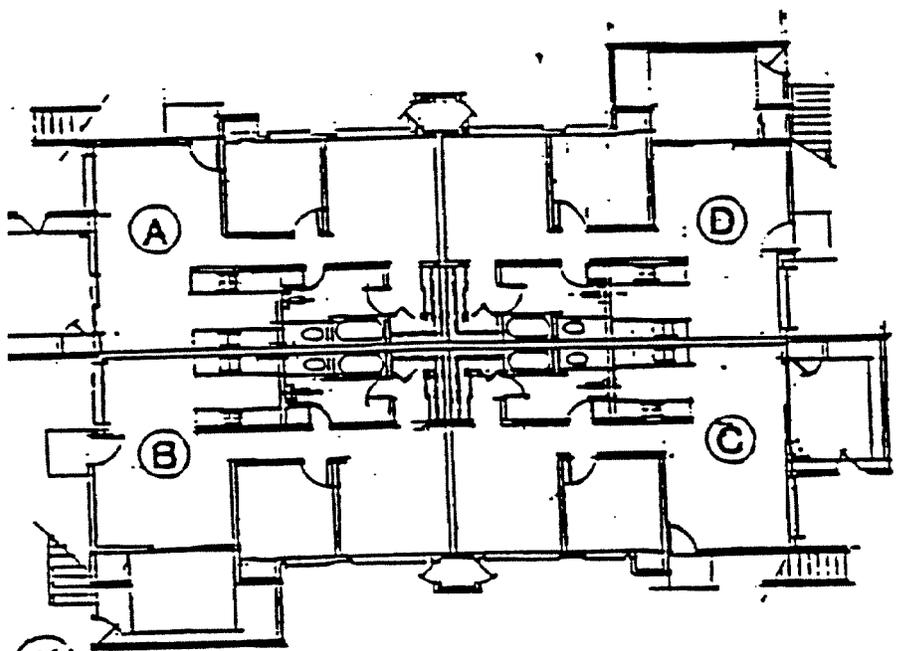
- 1) The built-up truss members at the ends of the buildings had been fastened by staples instead of metal connector plates. These staples may not provide sufficient uplift resistance in high wind conditions. There are already signs of excessive spreading at a few of the joint members. Our recommended reinforcement detail, shown in Sketch S-1, is to install 1/2" plywood gusset plates with 8-#12 screws into each 2 x 4.
- 2) A few of the exterior stair stringers had developed some rot damage when the wood rests on the concrete land slab. In these instances, there was some build-up of soil close to the wood. This build-up should be cleared away to permit the stringer ends to dry out. See photographs on S-2.
- 3) Although the exterior Cladwood siding is considered as an architectural element, we are concerned about the long term effect of the deterioration of this material. If no corrective work is done, structural wall base plates and studs may become susceptible to rot damage as well. We strongly recommend that corrective action be taken to repair the siding deterioration.
- 4) Open Carports - A number of 4 x 14 and 4 x 10 garage beams had large splits. These horizontal cracks are probably the result of using "green" lumber. If permitted to continue, such splitting may result in excessive deflection. We recommend that these beams be reinforced with lag screws to curtail further splitting. See detail on Sketch S-3.
- 5) Exterior Site Conditions - We observed a number of steel fence posts, sign posts and railing posts that were badly rusted. Due to the embedment of the posts and also to the exposure to the elements, such rusting must be anticipated. Routine maintenance work must be done to eliminate rust spots as soon as they are detected. This will prevent these spots from growing larger. We recommend that any embedded posts be set in concrete as shown in Sketch S-4. The concrete will minimize the exposure to moisture of the embedded portion of the post.



STRUCTURAL COMMENTS

- S1 - Vertical members of built up end trusses have stapled connections. Reinforce per Sketch S-1.
- S2 - Underside of Unit S stair landing is sagging. Seal off water infiltration, repair and refinish.
- S3 - Rot damage to tops of rail cap. Patch or replace and refinish.
- S4 - Rusted base at steel railing of exterior step. Repair or replace to match.

SECOND FLOOR PLAN
SC: 1/16" = 1'-0"

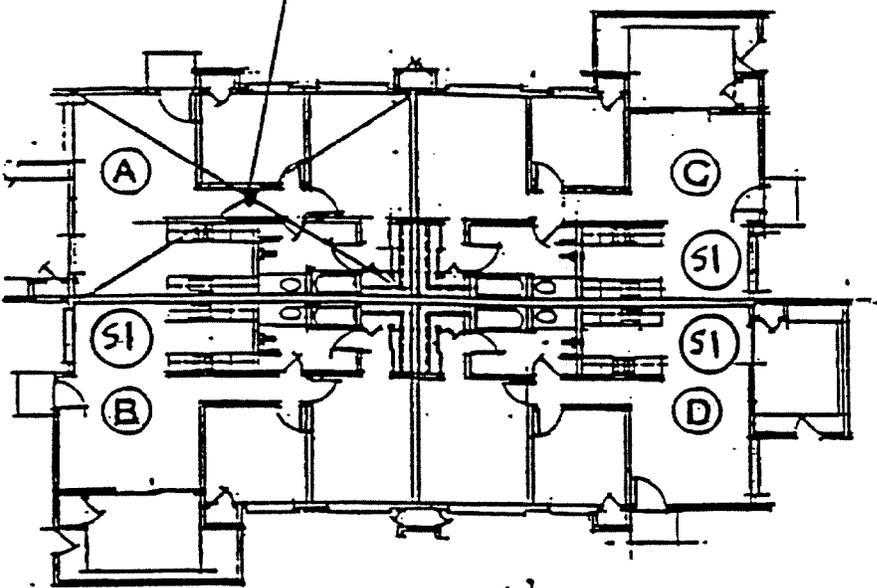


(S4)

(S3) FIRST FLOOR PLAN
SC: 1/16" = 1'-0"

8-PLEX BUILDING # 7
GENTRY SUNPOINT ALANEO
SUEDA & ASSOCIATES, INC.

T ACCESSIBLE

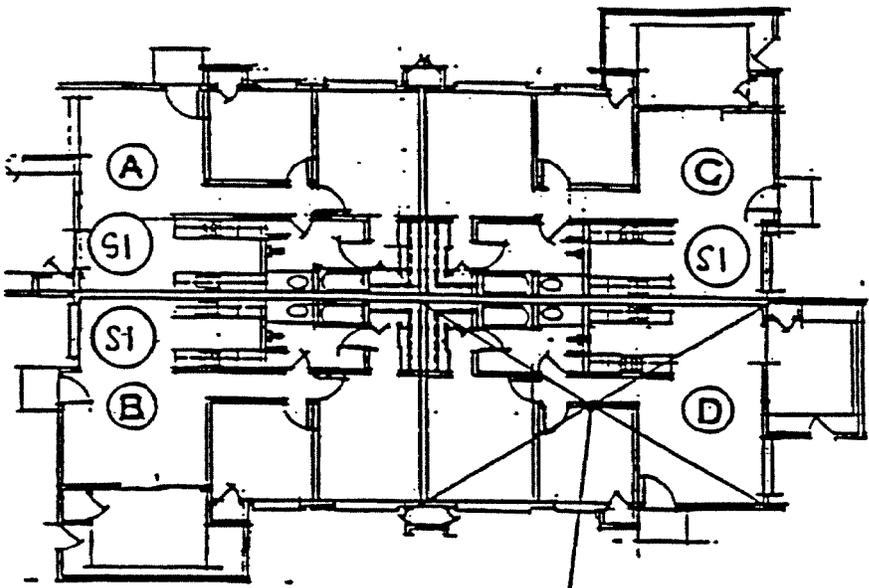


STRUCTURAL COMMENTS

S1 - Vertical members of built up end trusses have stapled connections. Reinforce per Sketch S-1.

FIRST FLOOR PLAN
SC: 1/16" = 1'-0"

4-PLEX BUILDING # 8
GENTRY SUNPOINT ALANEO
SUEDA & ASSOCIATES, INC.



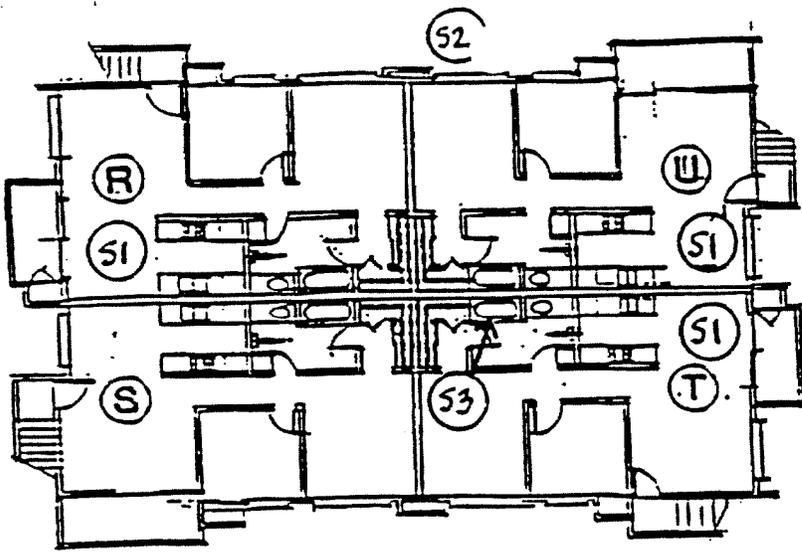
STRUCTURAL COMMENTS

- S1 - Vertical members of built up end trusses have stapled connections. Reinforce per Sketch S-1.
- S2 - Carport: Splits in 4X10beams Install lag screws per Sketch S-3.

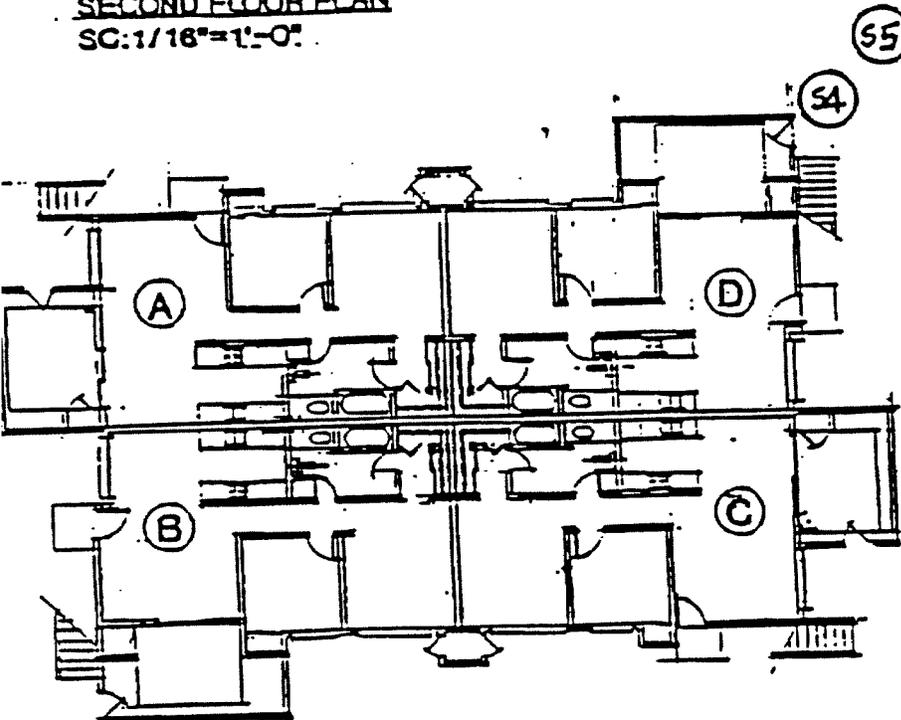
NOT ACCESSIBLE

FIRST FLOOR PLAN
 SC: 1/16" = 1'-0"

4-PLEX BUILDING # 12
GENTRY SUNPOINT ALANEO
 SUEDA & ASSOCIATES, INC.



SECOND FLOOR PLAN
 SC: 1/16" = 1'-0"

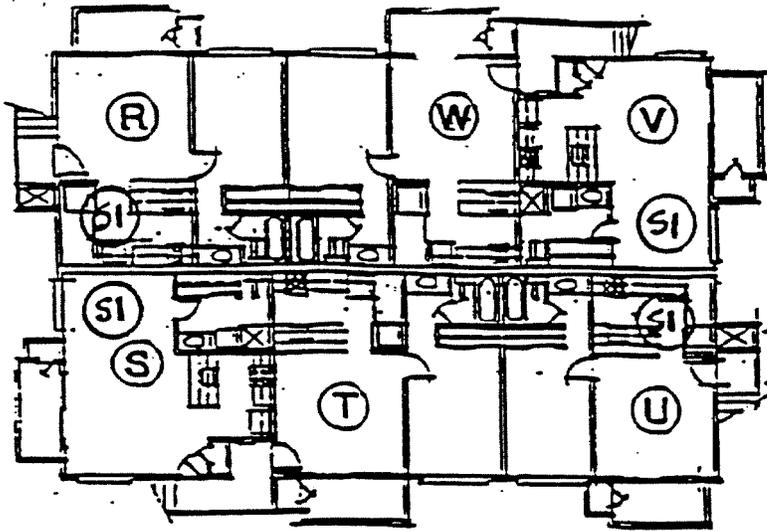


FIRST FLOOR PLAN
 SC: 1/16" = 1'-0"

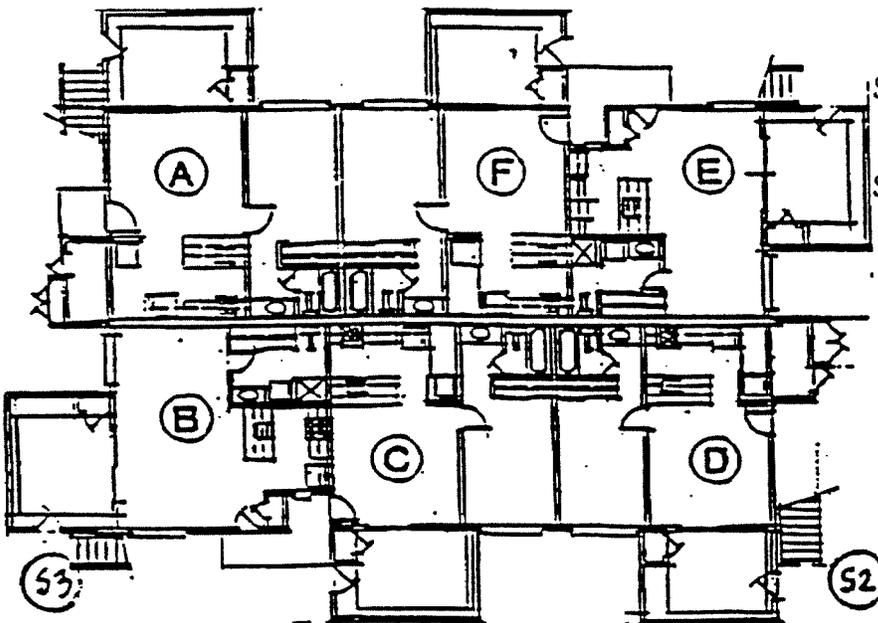
8-PLEX BUILDING # 16
GENTRY SUNPOINT ALANEO
 SUEDA & ASSOCIATES, INC.

STRUCTURAL COMMENTS

- S1 - Vertical members of built up end trusses have stapled connections. Reinforce per Sketch S-1.
- S2 - Large birdnest observed. Remove debris from attic space and seal access openings at vents.
- S3 - Cracked 2'X2' section of gypboard at underside of rafter. Patch with 5/8" Type "X" material.
- S4 - Rusted fence post. Replace per Sketch S-4.
- S5 - Rot damaged wooden post for sign. Replace with new wood, wrapped with 30# felt and embedded in concrete (similar to Sketch S-4).
- S6 - Carport: Splits in 4X10 and 4X14 beams. Install lag screws @ 24" o.c. per Sketch S-3.



SECOND FLOOR PLAN
 SC: 1/16" = 1'-0"



FIRST FLOOR PLAN
 SC: 1/16" = 1'-0"

12-PLEX BUILDING # 24
GENTRY SUNPOINT ALANEO
 SUEDE & ASSOCIATES, INC.

STRUCTURAL COMMENTS

- S1 - Vertical members of built up end trusses have stapled connections. Reinforce per Sketch S-1.
- S2 - Bottom portion of stair stringer is split. Presently it is not a problem. If splitting extends beyond 4', either reinforce by scabbing on another section of stringer or install lag screws per Sketch S-3.
- S3 - Bottom stair stringer is in contact with soil. Clear away soil to prevent rot damage and to eliminate accessway for termites.
- S4 - Shrinkage cracks in sidewalk. See Architectural report.
- S5 - Rusted bracket at exterior stair railing. Clean off rust and refinish.

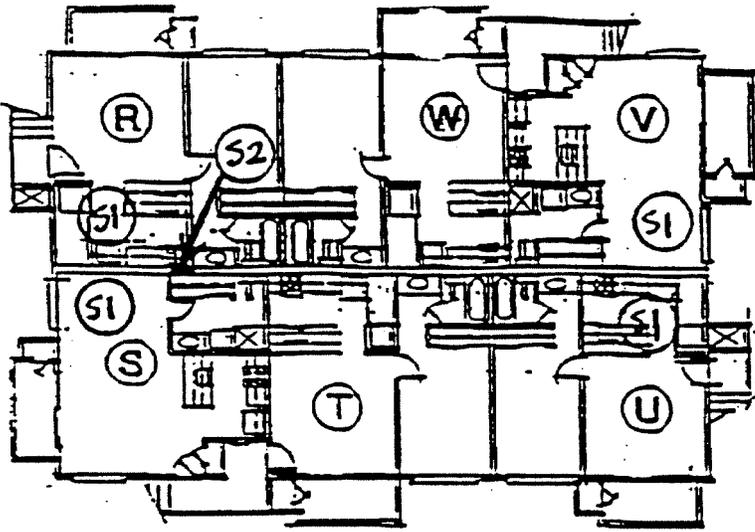
(55)

(S2)

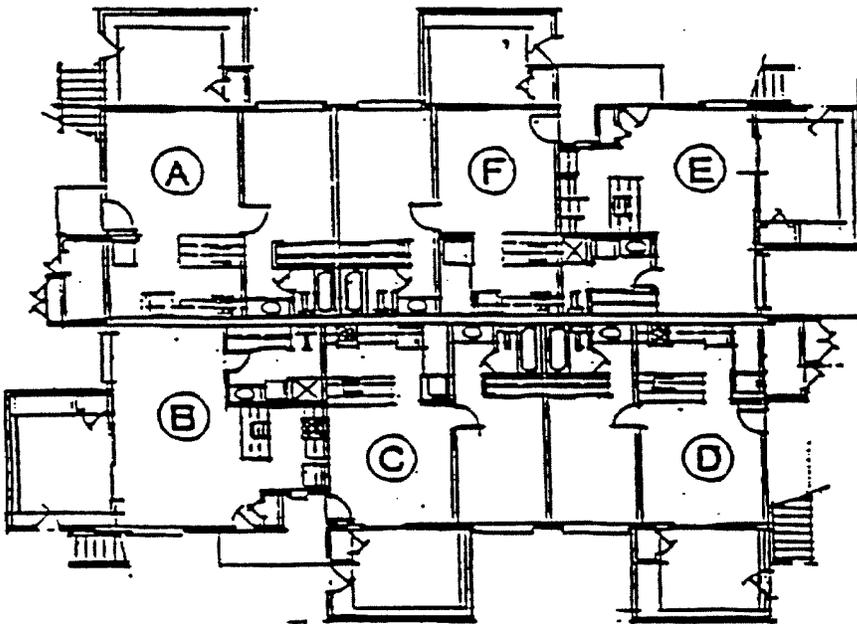
(S3)

STRUCTURAL COMMENTS

- S1 - Vertical members of built up end trusses have stapled connections. Reinforce per Sketch S-1.
- S2 - Missing 2'x4' section of gypboard at demising wall in ceiling. Probably removed by cable installer (telephone or TV). Replace with new.
- S3 - Rusted railing at exterior steps. Repair or replace as needed.



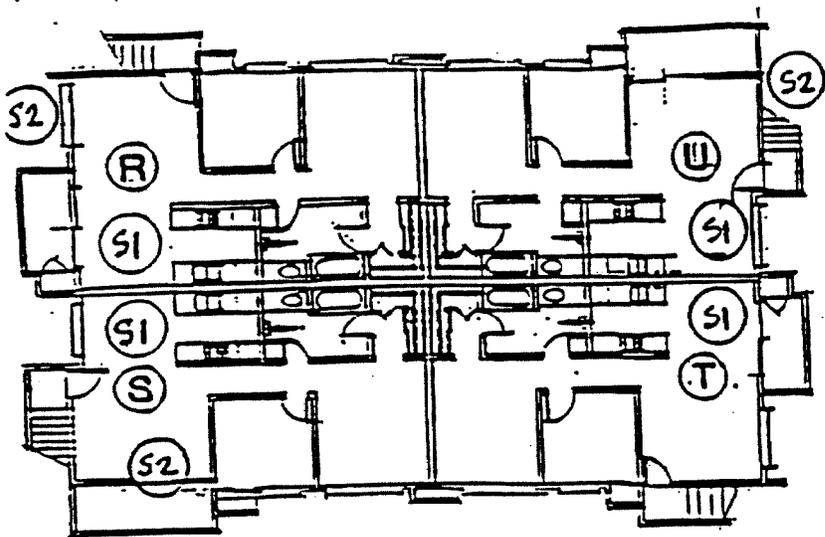
SECOND FLOOR PLAN
SC: 1/16" = 1'-0"



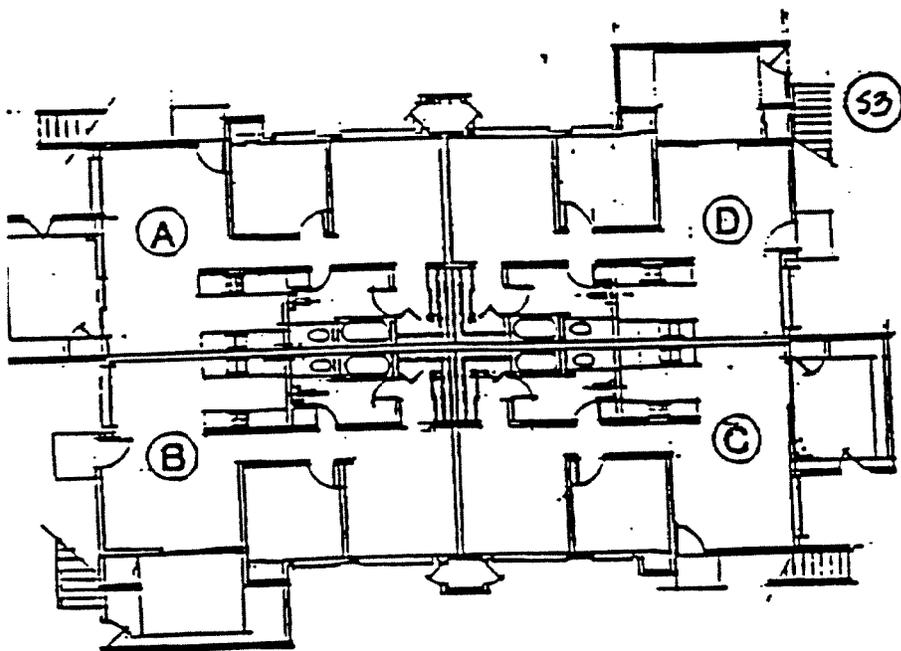
FIRST FLOOR PLAN
SC: 1/16" = 1'-0"

12-PLEX BUILDING # 33
GENTRY SUNPOINT ALANEO
SUEDA & ASSOCIATES, INC.

(S3)



SECOND FLOOR PLAN
 SC: 1/16" = 1'-0"

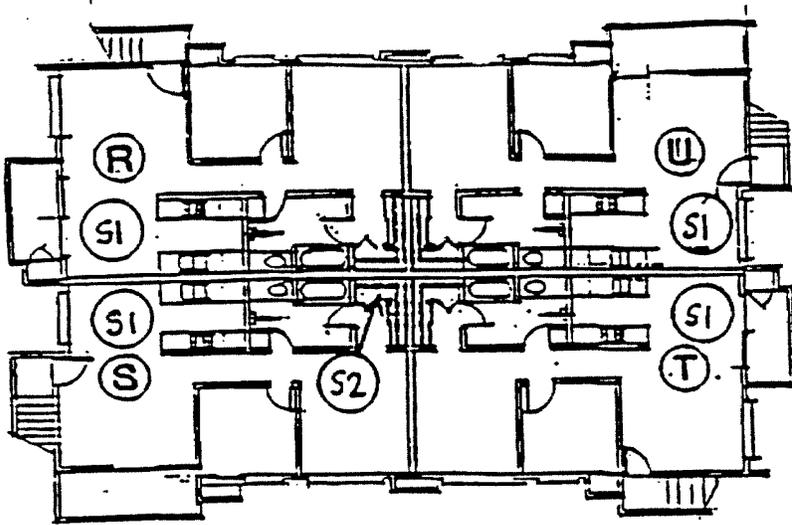


FIRST FLOOR PLAN
 SC: 1/16" = 1'-0"

8-PLEX BUILDING # 39
GENTRY SUNPOINT ALANEO
 SUEDA & ASSOCIATES, INC.

STRUCTURAL COMMENTS

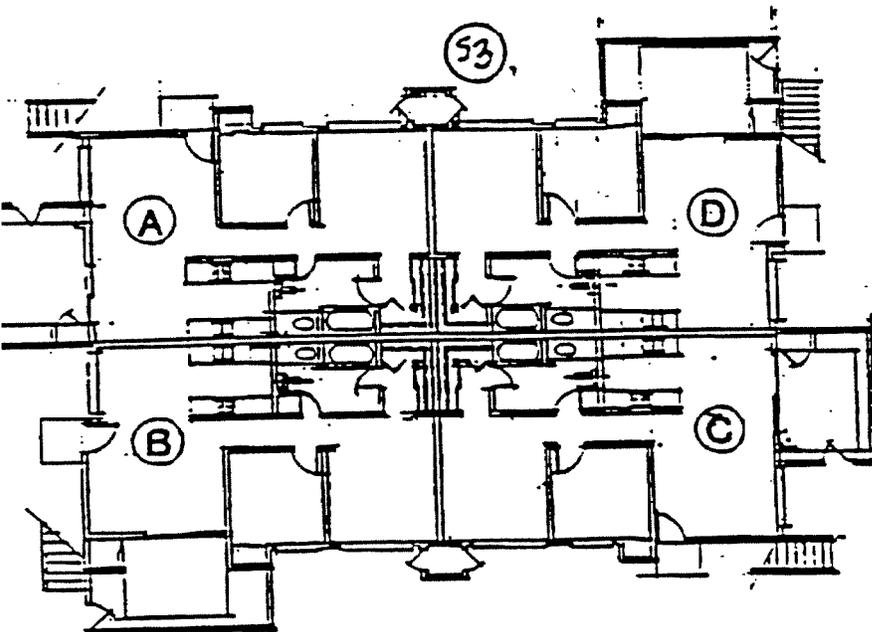
- S1 - Vertical members of built up end trusses have stapled connections. Reinforce per Sketch S-1.
- S2 - Large birdnest observed. Remove debris from attic space and seal access openings at vents.
- S3 - Stair tread support angles rusted. Clean and repaint or replace.
- S4 - Carport: Remove birdnest accumulation and seal openings. Repair splits in 4X10 beams with lag screws per Sketch S-3.



SECOND FLOOR PLAN
 SC: 1/16" = 1'-0"

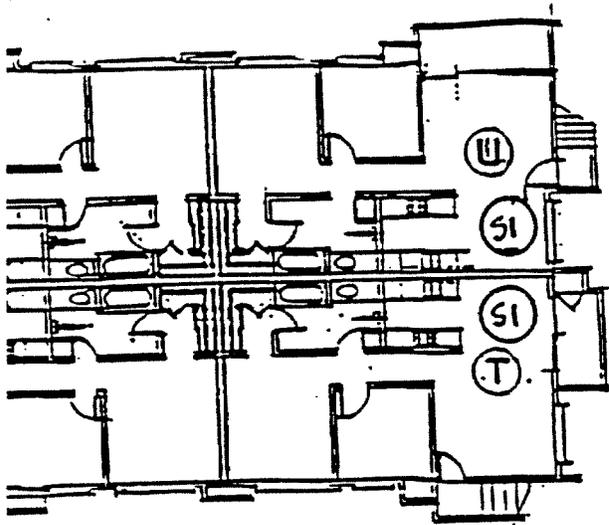
STRUCTURAL COMMENTS

- S1 - Vertical members of built up end trusses have stapled connections. Reinforce per Sketch S-1.
- S2 - Access panel cracked at scuttle. Replace with new.
- S3 - Large birdnest in heater storage room. Remove debris and seal off access.
- S4 - Carport: Splits in 4X10 beams. Install lag screws per Sketch S-3.



FIRST FLOOR PLAN
 SC: 1/16" = 1'-0"

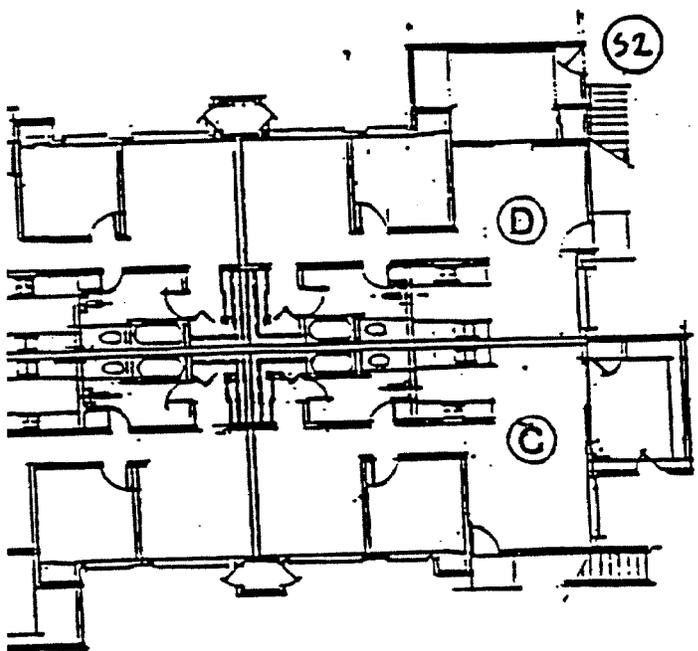
8-PLEX BUILDING # 41
GENTRY SUNPOINT ALANEQ
 SUEDA & ASSOCIATES, INC.



STRUCTURAL COMMENTS

- S1 - Vertical members of built up end trusses have stapled connections. Reinforce per Sketch S-1.
- S2 - Minor rot damage at bottom of stair stringers. Treat with mildewcide and clear away soil accumulation around wood.
- S3 - Carport: Splits in 4X10 beams. Install lag screws @ 24" o.c. per Sketch S-3.

FLOOR PLAN
1'-0"



FLOOR PLAN
6'-1'-0"

EX BUILDING # 45
RY SUNPOINT ALANEO
& ASSOCIATES, INC.

Lavatory Faucets:

The lavatories are under counter type, 18" x 16", with Moen single handle faucet and pop-up drain. Most lavatories have lost their polished finish and have water stains around the faucets and at the drain. There are a few lavatories with excessive stains and most faucets are water stained and show signs of the chrome finish pitting.

Shower Tub and Trims:

The existing shower tubs and surround are acrylic type. The surround is the three piece type with caulking at joints. Some of the joint caulking is coming apart from the tub surround. The shower valves are single lever type with diverter spout and shower head. The valve assembly shows signs of the chrome finish pitting and some of the valves are badly water stained and lost their luster. Some of the unit tenants have replaced the shower heads with hand held type showers.

Bathroom Exhaust Fans:

The exhaust fans are ceiling type and are interlocked with the light switch. Most of the fans are in good condition but some are noisy and slow to start. The fans are ducted through roof. There are flex ducts from the fans to sheet metal ducts through roof. Each unit have separate roof jacks.

Heaters and Flue:

The heaters are gas fired, State PRV-40 NRT4N, 40 gallons and 32,000 BTUH input. The heaters are in good condition. There were a couple of loose connectors between the flue and heater. The heater rooms and heater room screens need cleaning and debris removed.

Exterior Gas Piping:

The above ground gas piping at the gas meter and gas header are corroding because they have not been painted for some time.

Pressure Reducer:

Each unit has a separate pressure reducer located in a valve box. The valve boxes are filled with dirt which covers the pressure reducer completely.

Fire Extinguisher:

There are fire extinguishers with cabinets located outside at the main entry to each unit. The fire extinguishers were last tested in November 1995. The extinguishers and cabinet are in good condition.

Water Piping:

The water piping is copper and goes underground to each unit. There have been some underground leaks which have been replaced with overhead polyethylene piping.

Dryer Exhaust:

The dryers are exhausted individually through the roof. The ducts in the roof attic space are galvanized sheet metal and in good condition.

Recommendations:

Our recommendations are not absolute. Most of the plumbing fixtures have not been cleaned properly, therefore to fully assess the fixtures they should be cleaned to determine if the stains are removable. Replacement fixtures and trims should be low flow type.

The following are our recommendations:

Kitchen Sink and Faucet:

The stainless steel sinks should be cleaned and repolished. The faucets should be replaced if they cannot be cleaned and new strainer cups provided.

Kitchen Sink Disposal:

The original Whirlaway and Emerson disposals should be replaced with new disposals. The ISE Badger seemed to be a good value replacement.

Kitchen Range Hood:

The hoods should be cleaned and the filters washed. The charcoal filter should be replaced.

Water Closet:

The toilets that are in good condition should be cleaned and polished and the seats replaced with new seats. The toilets that are badly stained should be replaced with new.

Lavatory and Faucet:

Most of the lavatories are stained and lost their luster, therefore, we recommend that the fixtures and faucets be replaced with new fixtures if the stains cannot be removed and/or the luster restored.

Shower Tub and Trims:

The shower tubs and surrounds should be cleaned and polished. The shower valves and trims should be replaced with new valves and trims. The new valves should be single handle pressure balancing type. The drains should be checked for defective motors.

Bathroom Exhaust Fans:

Exhaust Fans should be cleaned, serviced and lubricated. Noisy fans should be repaired and the show starting fans should be checked for defective motors.

Heaters and Flue:

The heaters should be checked and their anodes replaced and the gas

valve and mechanism checked and repaired as required. The heater rooms and screens should be cleaned. The flues should be check for proper connection to heater.

Exterior Gas Piping:

The rusted gas piping should be cleaned of rust or replaced and primed and painted with two coats of polyurethane paint.

Pressure Reducer:

The valve boxes should be cleaned of debris and the pressure reduced exposed. The bottom of the valve boxes should be filled with gravel.

Dryer Exhaust:

The dryers should be disconnected and the ducts cleaned to remove lint that has accumulated in the ductwork.

Water Piping:

Because some of the pipes have been replaced with overhead polyethylene pipe, Management should identify the units with the replacement pipes.



MECHANICAL INDEX

- M1 - Replace faucet. Faucet chrome pitted and corroded. Clean and polish kitchen sink.
- M2 - Replace garbage disposal. Unit vibrates or grinding noise.
- M3 - Clean kitchen hood and wash filter. Hood generally in good condition.
- M4 - Replace water closet if necessary. Toilet badly stained. Clean water closet.
- M5 - Clean water closet and change seat. Water closet only slightly stained.
- M6 - Replace lavatory and faucet if cannot be cleaned. Lavatory badly stained and faucet corroded.
- M7 - Clean and polish lavatory and faucet. Lavatory in good condition.
- M8 - Replace lavatory faucet. Faucet corroded.
- M9 - Replace missing lavatory pop-up.
- M10 - Clean and polish tub and surround. Recaulk tub surround.
- M11 - Clean and polish tub shower valve assembly.
- M12 - Replace shower valve assembly. Shower valve assembly corroded.
- M13 - Replace missing shower head.
- M14 - Paint exterior gas piping meter header assembly.
- M15 - Attach heater flue to heater. Loose flue.
- M16 - Cleanout Heater Rooms.
- M17 - Cleanout pressure reducer water valve box. Valve box filled with dirt.
- M18 - Check and replace bath exhaust. Fan does not run or rattles or slow to start.

Mechanical Index of Notes:

M1 - Replace faucet. Faucet chrome pitted and corroded. Clean and polish kitchen sink.

M3 - Clean kitchen hood and wash filter. Hood generally in good condition.

M5 - Clean water closet and change seat. Water closet only slightly stained.

M6 - Replace lavatory and faucet if cannot be cleaned. Lavatory badly stained and faucet corroded.

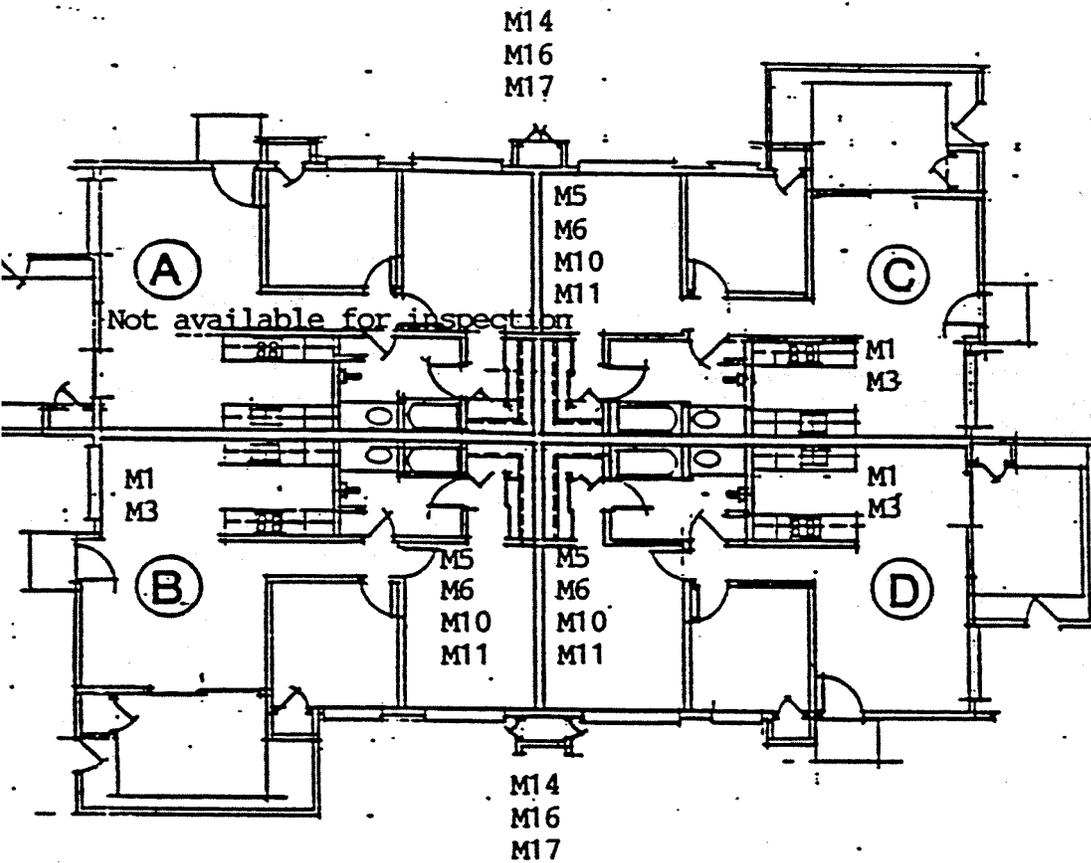
M10 - Clean and polish tub and surround. Recaulk tub surround.

M11 - Clean and polish tub shower valve assembly. —

M14 - Paint exterior gas piping meter header assembly.

M16 - Cleanout Heater Rooms.

M17 - Cleanout pressure reducer water valve box. Valve box filled with dirt.



FIRST FLOOR PLAN
SC: 1/16" = 1'-0"

Mechanical Index of Notes:

M1 - Replace faucet. Faucet chrome pitted and corroded. Clean and polish kitchen sink.

M2 - Replace garbage disposal. Unit vibrates or grinding noise.

M3 - Clean kitchen hood and wash filter. Hood generally in good condition.

M4 - Replace water closet if necessary. Toilet badly stained. Clean water closet.

M5 - Clean water closet and change seat. Water closet only slightly stained.

M6 - Replace lavatory and faucet if cannot be cleaned. Lavatory badly stained and faucet corroded.

M7 - Clean and polish lavatory and faucet. Lavatory in good condition.

M8 - Replace lavatory faucet. Faucet corroded.

M10 - Clean and polish tub and surround. Recaulk tub surround.

M11 - Clean and polish tub shower valve assembly.

M12 - Replace shower valve assembly. Shower valve assembly corroded.

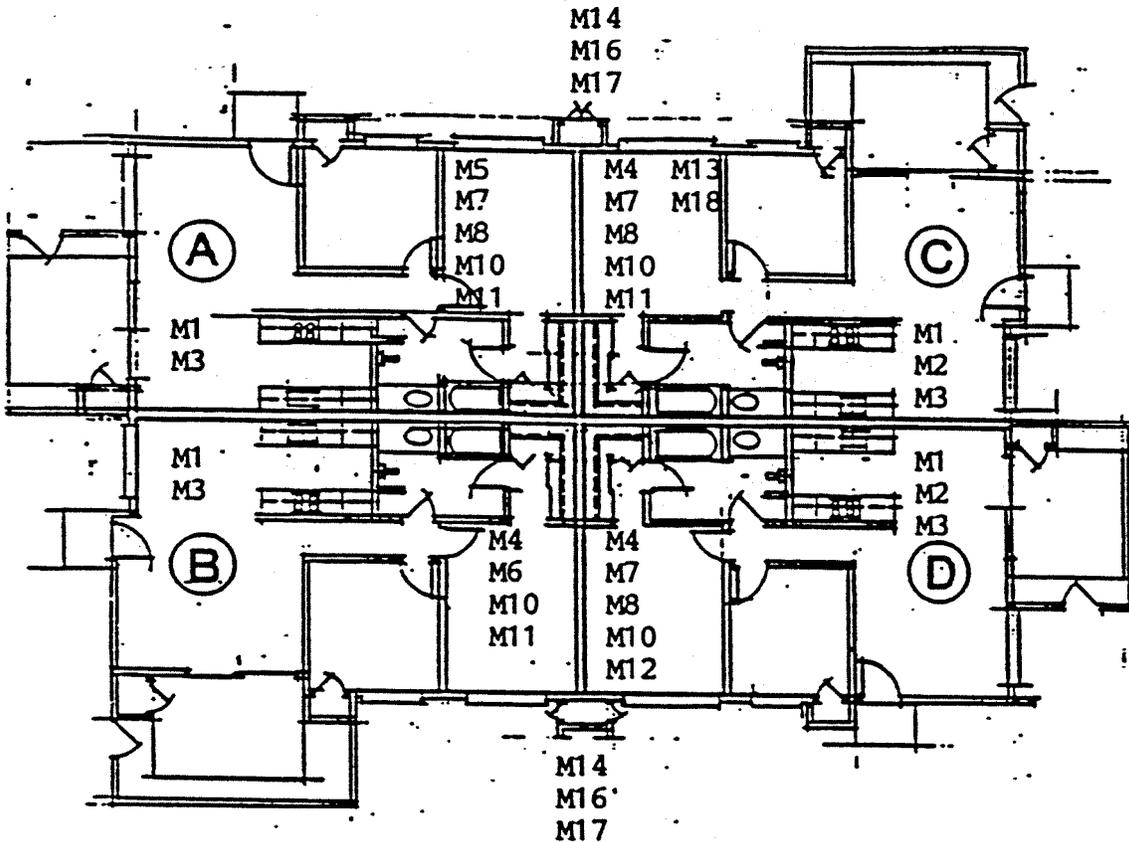
M13 - Replace missing shower head.

M14 - Paint exterior gas piping meter header assembly.

M16 - Cleanout Heater Rooms.

M17 - Cleanout pressure reduce water valve box. Valve box filled with dirt.

M18 - Check and replace bath exhaust fan. Fan does not run or rattles or slow to start.



FIRST FLOOR PLAN
SC: 1/16" = 1'-0"

4-PLEX BUILDING #12
GENTRY SUNPOINT ALANEO

SUEDA & ASSOCIATES, INC.

Mechanical Index of Notes:

M1 - Replace faucet. Faucet chrome pitted and corroded. Clean and polish kitchen sink.

M2 - Replace garbage disposal. Unit vibrates or grinding noise.

M3 - Clean kitchen hood and wash filter. Hood generally in good condition.

M4 - Replace water closet if necessary. Toilet badly stained. Clean water closet.

M5 - Clean water closet and change seat. Water closet only slightly stained.

M6 - Replace lavatory and faucet if cannot be cleaned. Lavatory badly stained and faucet corroded.

M7 - Clean and polish lavatory and faucet. Lavatory in good condition

M8 - Replace lavatory faucet. Faucet corroded.

M9 - Replace missing lavatory pop up.

M10 - Clean and polish tub and surround. Recaulk tub surround.

M11 - Clean and polish tub shower valve assembly.

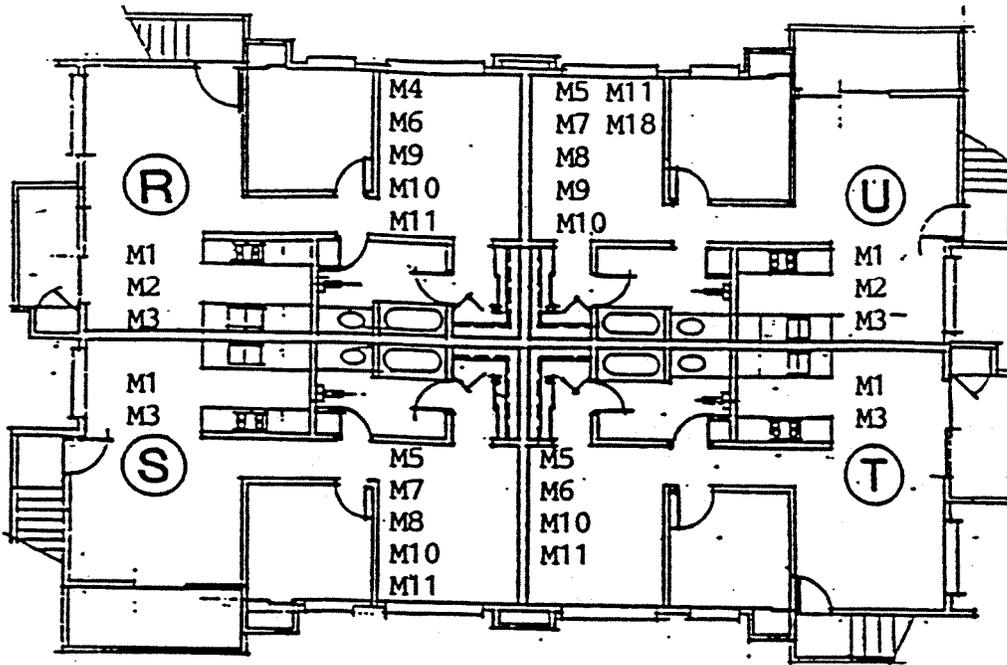
M12 - Replace shower valve assembly. Shower valve assembly corroded.

M14 - Paint exterior gas piping meter header assembly.

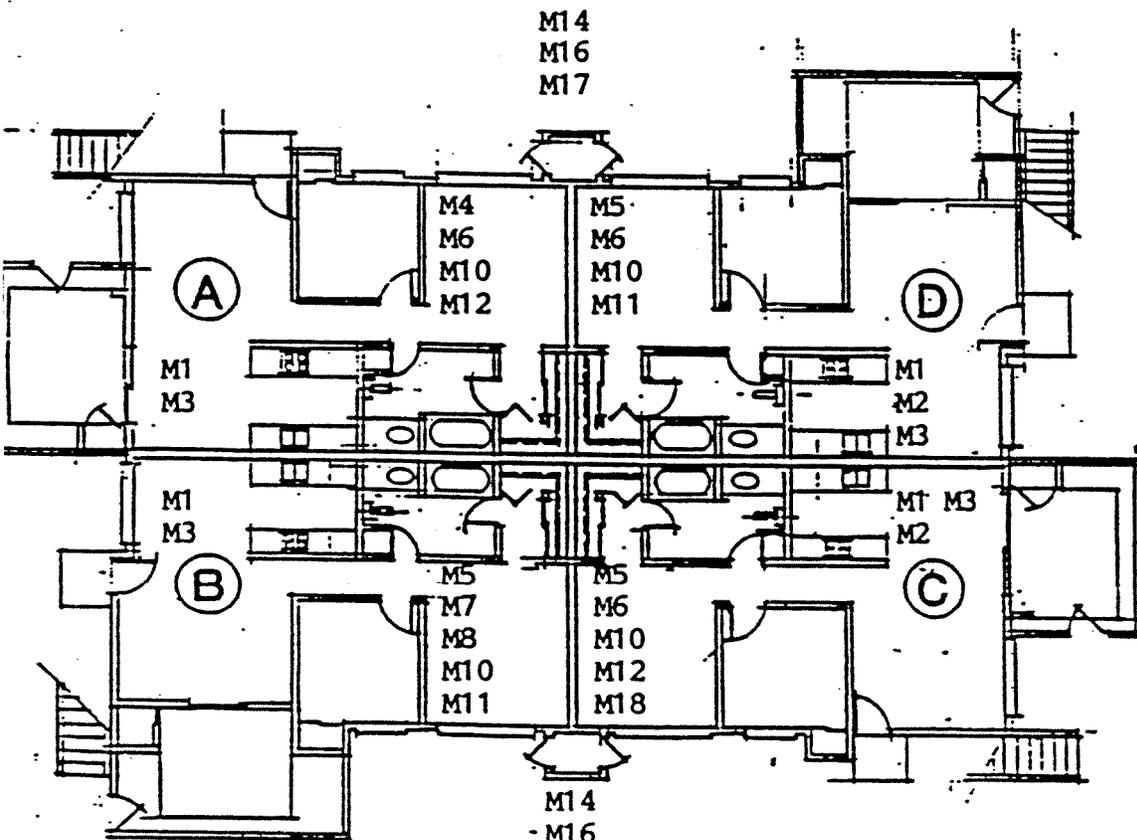
M16 - Cleanout Heater Rooms.

M17 - Cleanout pressure reducing water valve box. Valve box fill with dirt.

M18 - Check and replace bathroom exhaust. Fan does not run or rattles or slow to start.



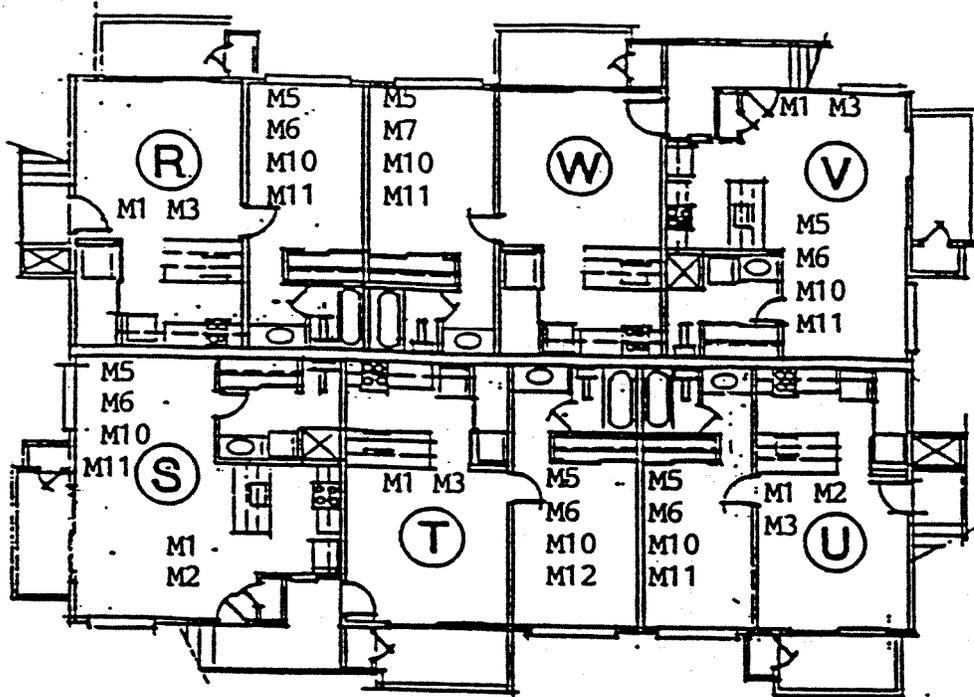
SECOND FLOOR PLAN
SC: 1/16" = 1'-0"



FIRST FLOOR PLAN
SC: 1/16" = 1'-0"

8-PLEX BUILDING # 16
GENTRY SUNPOINT ALANEO

SUEDA & ASSOCIATES, INC.



SECOND FLOOR PLAN
 SC: 1/16" = 1'-0"

Note: Straighten flex duct for exhaust fan in Unit "U".

Mechanical Index of Notes:

M1 - Replace faucet. Faucet chromi- pitted and corroded. Clean and polish kitchen sink.

M2 - Replace garbage disposal. Unit vibrates or grinding noise.

M3 - Clean kitchen hood and wash filter. Hood generally in good condition.

M4 - Replace water closet if necessary. Toilet badly stained. Clean water closet.

M5 - Clean water closet and change seat. Water closet only slightly stained.

M6 - Replace lavatory and faucet if cannot be cleaned. Lavatory badly stained and faucet corroded.

M7 - Clean and polish lavatory and faucet. Lavatory in good condition.

M10 - Clean and polish tub and surround. Recaulk tub surround.

M11 - Clean and polish tub shower valve assembly.

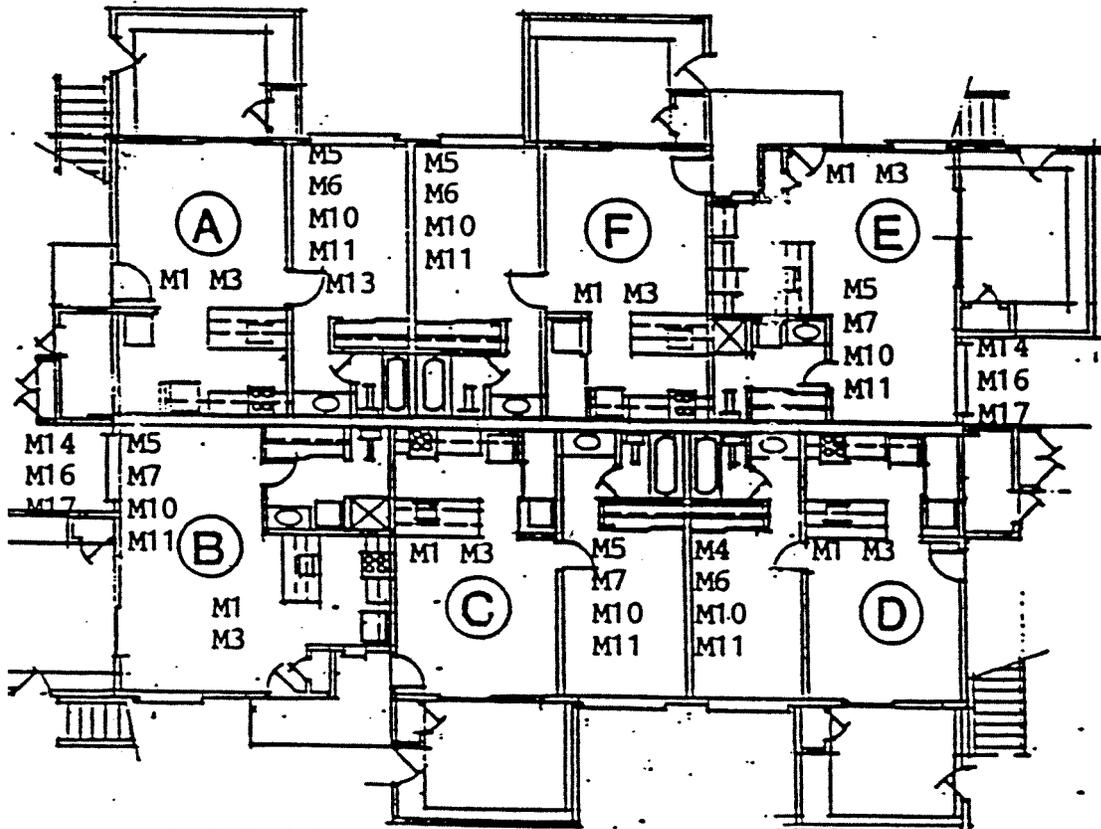
M12 - Replace shower valve assembly. Shower valve assembly corroded.

M13 - Replace missing shower head.

M14 - Paint exterior gas piping meter header assembly.

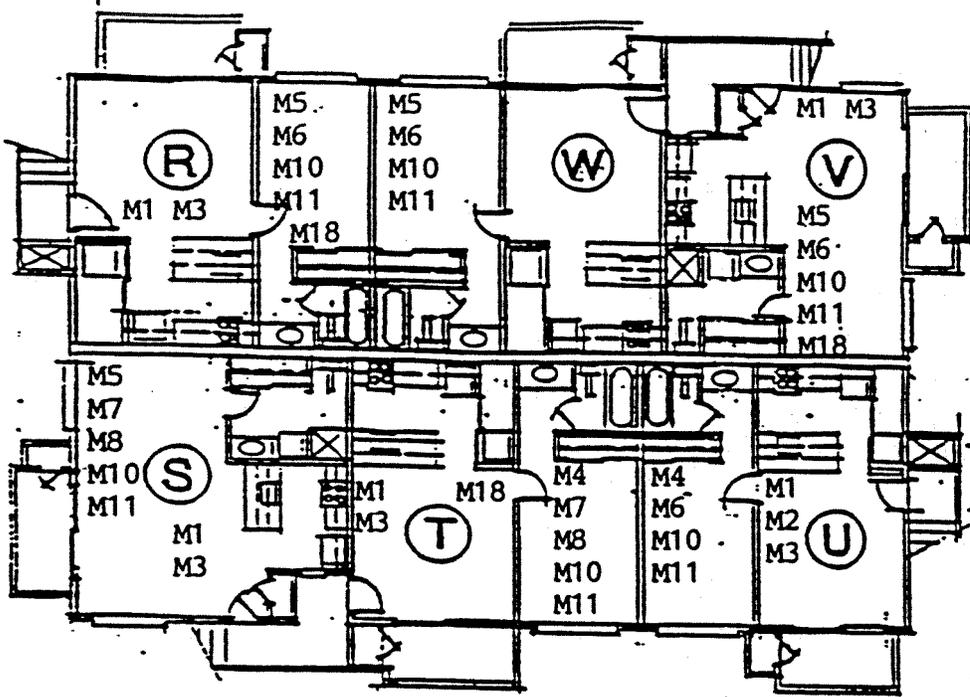
M16 - Cleanout Heater Rooms.

M17 - Cleanout pressure reducing water valve box. Valve box filled with dirt.



FIRST FLOOR PLAN
 SC: 1/16" = 1'-0"

12-PLEX BUILDING # 24
GENTRY SUNPOINT ALANEO
 SUEDA & ASSOCIATES, INC.



SECOND FLOOR PLAN
 SC: 1/16" = 1'-0"

Note: For Unit "R" flex duct in attic space is too long. Shorten flex duct.

Mechanical Index of Notes:

M1 - Replace faucet. Faucet chrome pitted and corroded. Clean and polish kitchen sink.

M2 - Replace garbage disposal. Unit vibrates or grinding noise.

M3 - Clean kitchen hood and wash filter. Hood generally in good condition.

M4 - Replace water closet if necessary. Toilet badly stained. Clean water closet.

M5 - Clean water closet and change seat. Water closet only slightly stained.

M6 - Replace lavatory and faucet if cannot be cleaned. Lavatory badly stained and faucet corroded.

M7 - Clean and polish lavatory and faucet. Lavatory in good condition.

M8 - Replace lavatory faucet. Faucet corroded.

M10 - Clean and polish tub and surround. Recaulk tub surround.

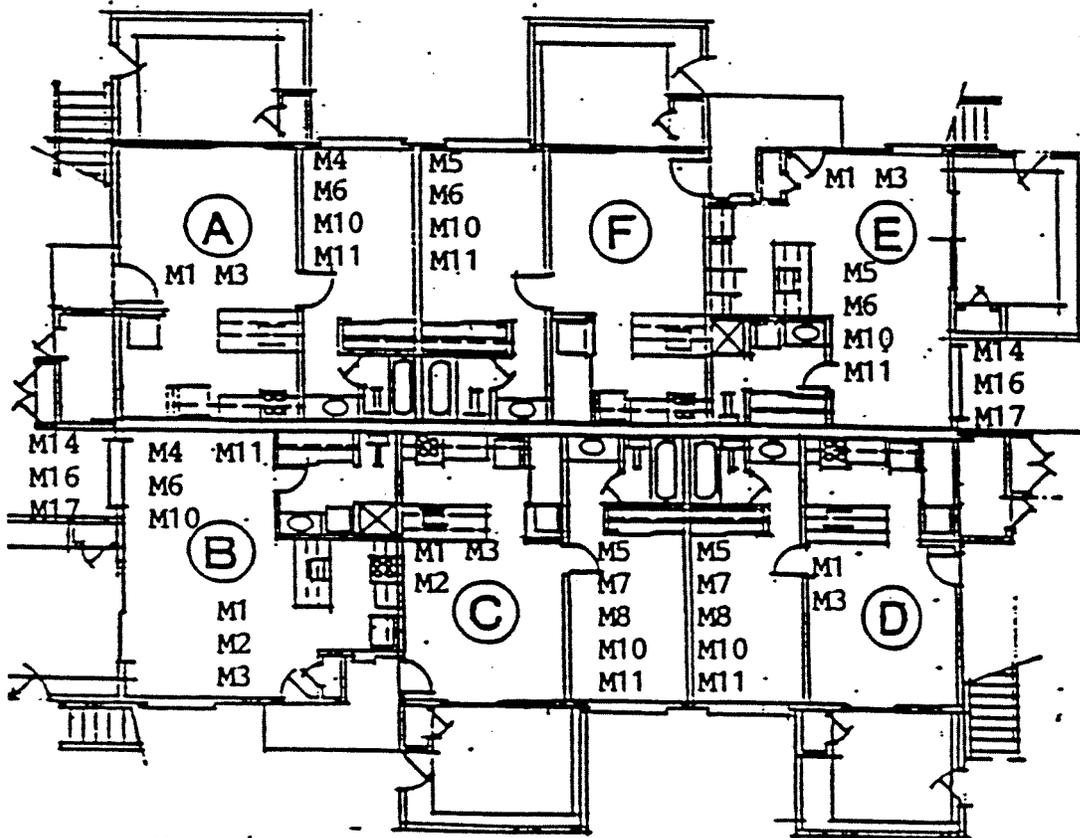
M11 - Clean and polish tub shower valve assembly.

M14 - Paint exterior gas piping meter header assembly.

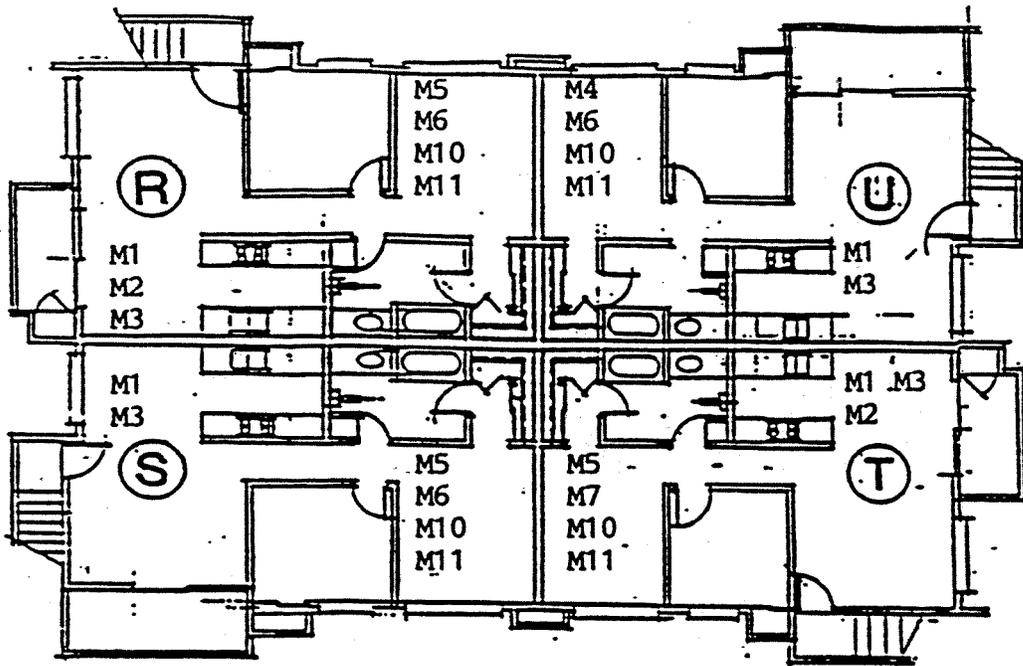
M16 - Cleanout Heater Rooms.

M17 - Cleanout pressure reducer water valve box. Valve box filled with dirt.

M18 - Check and replace bath exhaust. Fan does not run or rattles or slow to start.



FIRST FLOOR PLAN
 SC: 1/16" = 1'-0"



SECOND FLOOR PLAN
 SC: 1/16" = 1'-0"

Mechanical Index of Notes:

M1 - Replace faucet. Faucet chrome pitted and corroded. Clean and polish kitchen sink.

M2 - Replace garbage disposal. Unit vibrates or grinding noise.

M3 - Clean kitchen hood and wash filter. Hood generally in good condition.

M4 - Replace water closet if necessary. Toilet badly stained. Clean water closet.

M5 - Clean water closet and change seat. Water closet only slightly stained.

M6 - Replace lavatory and faucet if cannot be cleaned. Lavatory badly stained and faucet corroded.

M7 - Clean and polish lavatory and faucet. Lavatory in good condition.

M10 - Clean and polish tub and surround. Recaulk tub surround.

M11 - Clean and polish tub shower valve assembly.

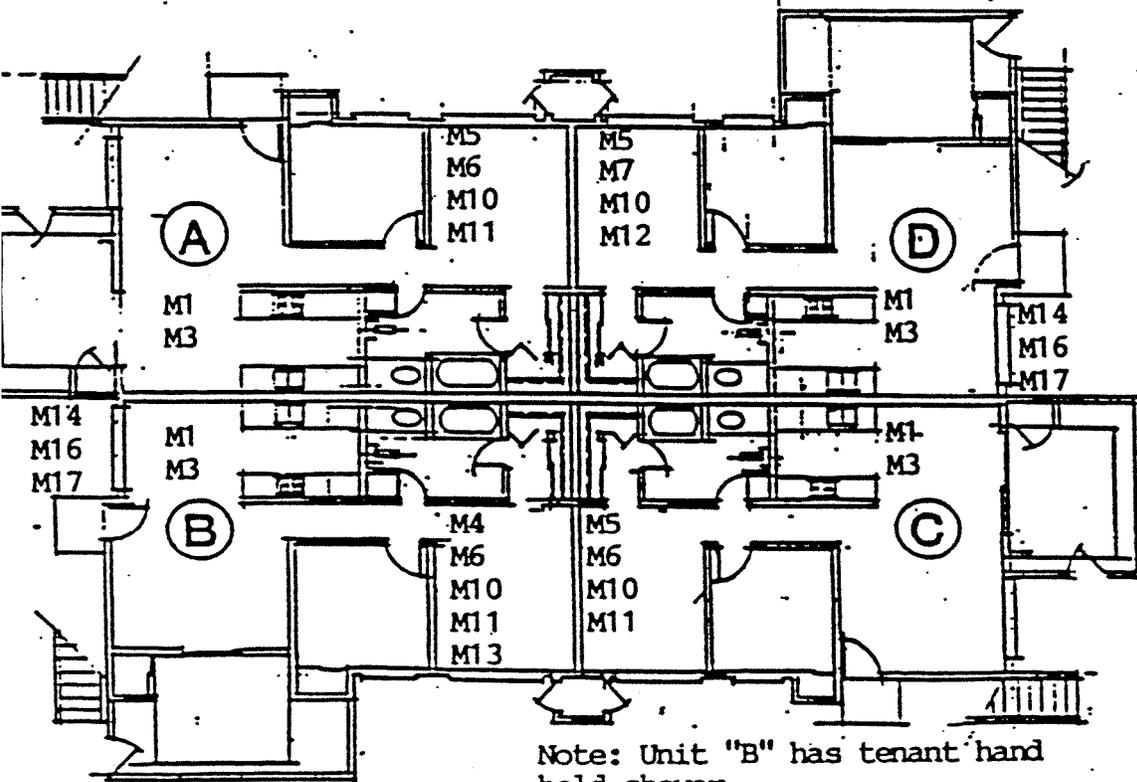
M12 - Replace shower valve assembly. Shower valve assembly corroded.

M13 - Replace missing shower head.

M14 - Paint exterior gas piping meter header assembly.

M16 - Cleanout Heater Rooms.

M17 - Cleanout pressure reducing water valve box. Valve box filled with dirt.

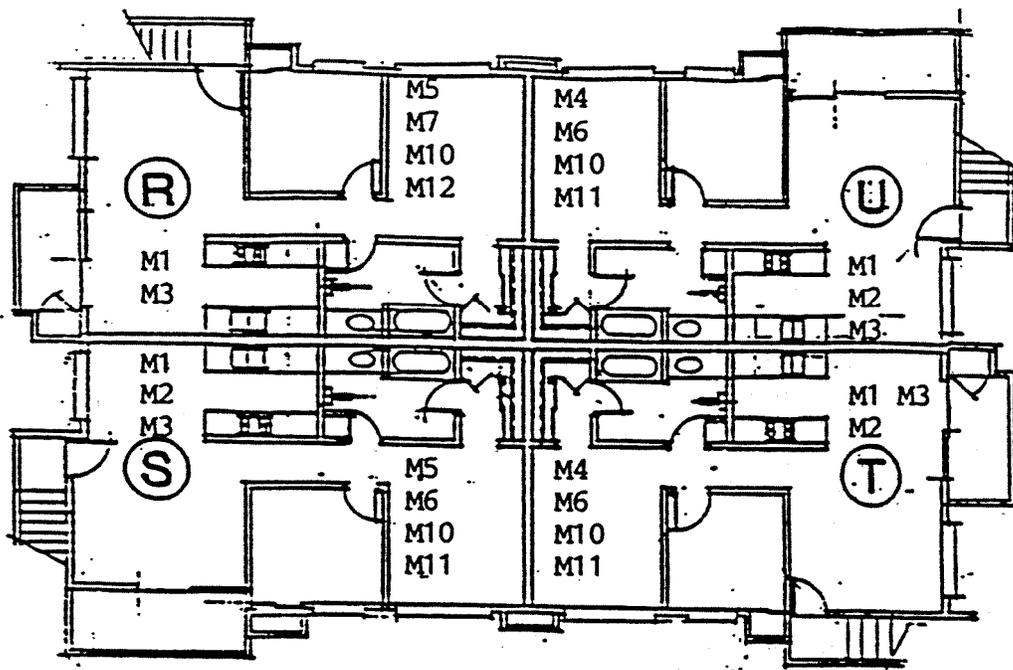


Note: Unit "B" has tenant hand held shower.

FIRST FLOOR PLAN
 SC: 1/16" = 1'-0"

8-PLEX BUILDING #39
GENTRY SUNPOINT ALANEO

SUEDA & ASSOCIATES, INC.



Mechanical Index of Notes:

M1 - Replace faucet. Faucet chrome pitted and corroded. Clean and polish kitchen sink.

M2 - Replace garbage disposal. Unit vibrates or grinding noise.

M3 - Clean kitchen hood and wash filter. Hood generally in good condition.

M4 - Replace water closet if necessary. Toilet badly stained. Clean water closet.

M5 - Clean water closet and change seat. Water closet only slightly stained.

M6 - Replace lavatory and faucet if cannot be cleaned. Lavatory badly stained and faucet corroded.

M7 - Clean and polish lavatory and faucet. Lavatory in good condition.

M8 - Replace lavatory faucet. Faucet corroded.

M10 - Clean and polish tub and surround. Recaulk tub surround.

M11 - Clean and polish tub shower valve assembly.

M12 - Replace shower valve assembly. Shower valve assembly corroded.

M14 - Paint exterior gas piping meter header assembly.

M15 - Attach heater flue to heater. Loose flue.

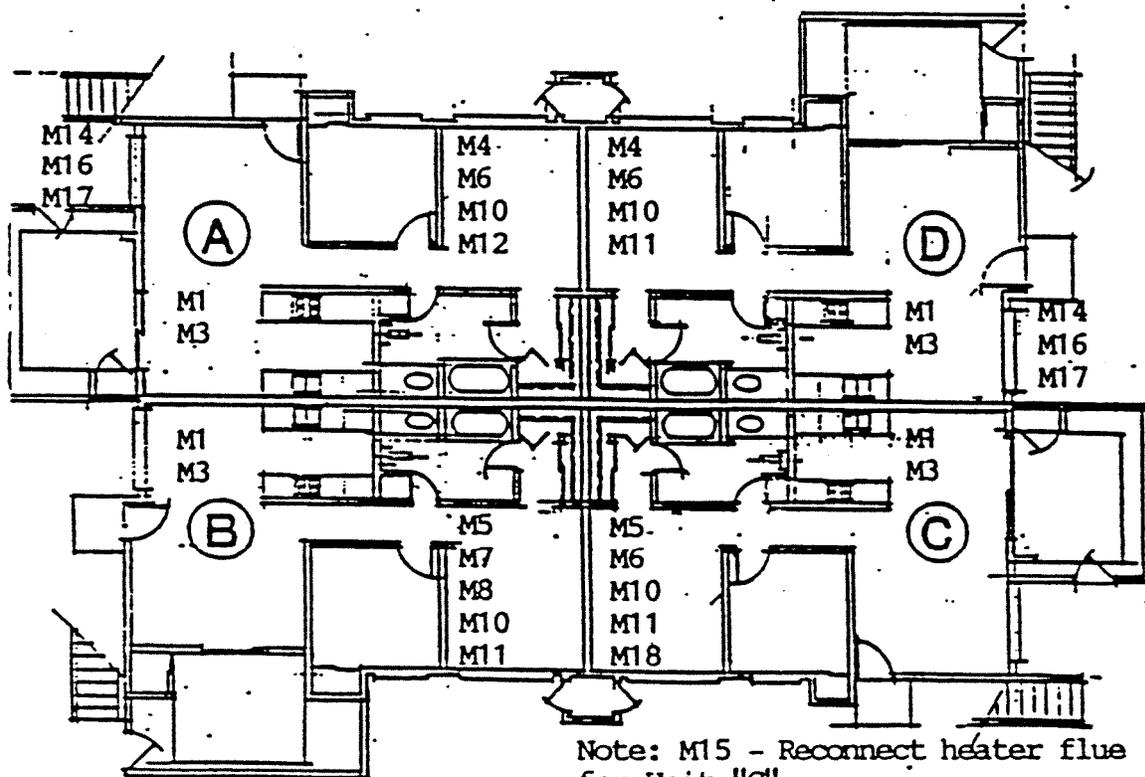
M16 - Cleanout Heater Rooms.

M17 - Cleanout pressure reduce water valve box. Valve box filled with dirt.

M18 - Check and replace bath exhaust. Fan does not run or rattle or slow to start.

SECOND FLOOR PLAN

SC: 1/16" = 1'-0"



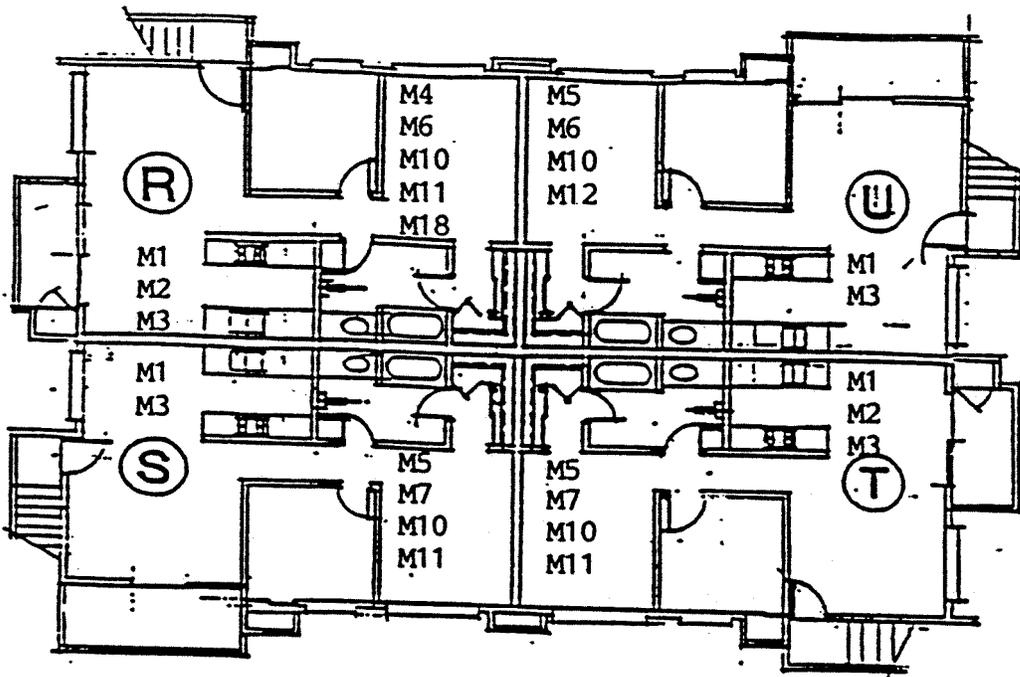
Note: M15 - Reconnect heater flue for Unit "C".

FIRST FLOOR PLAN

SC: 1/16" = 1'-0"

**8-PLEX BUILDING #41
GENTRY SUNPOINT ALANEO**

SUEDA & ASSOCIATES, INC.



SECOND FLOOR PLAN
 SC: 1/16" = 1'-0"

Mechanical Index of Notes:

M1 - Replace faucet. Faucet chrome pitted and corroded. Clean and polish kitchen sink.

M2 - Replace garbage disposal. Unit vibrates or grinding noise.

M3 - Clean kitchen hood and wash filter. Hood generally in good condition.

M4 - Replace water closet if necessary. Toilet badly stained. Clean water closet.

M5 - Clean water closet and change seat. Water closet only slightly stained.

M6 - Replace lavatory and faucet if cannot be cleaned. Lavatory badly stained and faucet corroded.

M7 - Clean and polish lavatory and faucet. Lavatory in good condition.

M10 - Clean and polish tub and surround. Recaulk tub surround.

M11 - Clean and polish tub shower valve assembly.

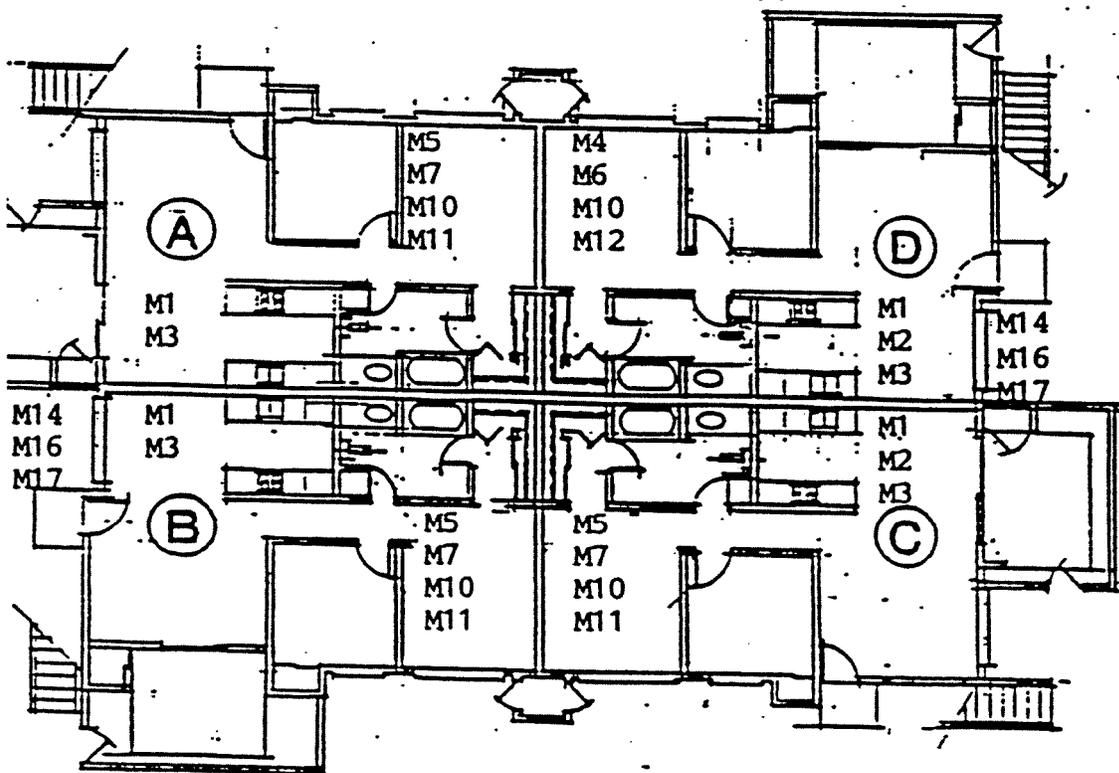
M12 - Replace shower valve assembly. Shower valve assembly corroded.

M14 - Paint exterior gas piping meter header assembly.

M16 - Cleanout Heater Rooms.

M17 - Cleanout pressure reducer water valve box. Valve box filled with dirt.

M18 - Check and replace bath exhaust. Fan does not run or rattles or slow to start.



FIRST FLOOR PLAN
 SC: 1/16" = 1'-0"

ITANO & ASSOCIATES, INC.

Consulting Electrical Engineers

ELECTRICAL ASSESSMENT REPORT FOR GENTRY SUNPOINT ALANEO

I. ELECTRICAL (POWER) SERVICE:

A. Hawaiian Electric Company Service

1. HECO primary service to the project site is underground.
2. A series of Hawaiian Electric Company (HECO) pad mounted transformers are located throughout the site and provide 120/240 volts, single phase service to each of the buildings.

B. Secondary Service

1. Underground secondary service at 120/240 volts, single phase, three wires run from the HECO pad mounted transformers to the main electrical service equipment located within an electrical closet at the exterior of each building.
2. The main electrical service equipment consists of a main breaker (for building with more than six units) and individual HECO meters for each of the dwelling units.
3. The service equipment also consists of a 100 ampere main circuit breaker for each unit.
4. Based on Code calculations, the main service equipment and service to individual dwelling units are adequately sized and appear to be in good operating condition.

II. BUILDING INTERIOR WIRING:

A. Service Feeders

1. Main service feeders from the main service equipment to the individual panelboards within each unit consists of aluminum, "service entrance" type cables. These service feeders are routed within the second floor space for the ground floor units and the attic space for the second floor units.
2. Main service feeders appear to be in good working condition with no indications of overloading, unusual wear or problems.

B. Branch Circuit Wiring

1. Of the wiring observed, the building interior branch circuit wiring consists of nonmetallic-sheathed cable with insulated copper conductors and bare ground conductor.
2. The wiring observed appear to be in good condition with no serious deficiencies or problems observed.

3. Unit 39U: Ceiling fan in Master Bedroom required assistance for fan to begin turning.

Recommendation: Replace ceiling fan.

II. EXTERIOR ASSESSMENT SUMMARY:

A. General

In general, the conditions of the exterior electrical facilities are in good condition. There were no observable signs of electrical conditions, which presented any serious problems. Typical conditions, which repair or replacement are recommended include the following:

1. Many of the low voltage "mini-bollard" luminaires were leaning and not plumb.

Recommendation: Although this item does not have any significant impact on the operation of the luminaires, the luminaires could be reset to be plumb.

B. Specific Unit Observations:

1. Outside Building 24: A "mini-bollard" exterior luminaire was missing and wiring was exposed (ends taped).

Recommendation: Provide new luminaire.

V. TELEPHONE SYSTEM:

A. Main Telephone Service

1. The main incoming telephone service by GTE Hawaiian Telephone originates from an underground distribution system similar to Hawaiian Electric Company Service.
2. Main service enters each building through a telephone cabinet located within the ground floor electric closet at the exterior of each building.
3. There does not appear to be any problem or deficiency with the telephone service.

B. Building Distribution

1. Telephone cable by GTE Hawaiian Telephone from the telephone cabinet are provided to each of telephone outlets within the individual units.
2. There does not appear to be any problem or deficiency with the telephone distribution system.

VI. CABLE TELEVISION SYSTEM:

A. Main Television Service

1. The main incoming television service by Oceanic Cable originates from an underground distribution system similar to electric and telephone services.
2. Main service enters each building through a television junction box located within the ground floor electric closet at the exterior of each building.
3. There does not appear to be any problem or deficiency with the telephone service.

B. Building Distribution

1. Television cable by Oceanic Cable from the television junction box are provided to each of television outlets within the individual units.
2. There does not appear to be any problem or deficiency with the television wiring system.

VII. FIRE DETECTION SYSTEM:

A. The facility does not have a fire alarm system.

B. Individual Dwelling Units

1. Each unit is equipped with an AC powered room smoke detector with integral alarm. These detectors are located outside of the sleeping areas (bedrooms).
2. Current Code requires that AC powered smoke detectors with integral alarms also be installed within each of the sleeping areas (bedrooms).

3. There does not appear to be a problem with the existing detectors.

VIII. EXTERIOR FACILITIES:

A. Lighting

1. Exterior lighting consists of pole mounted high pressure sodium luminaires for the parking and roadway areas and low voltage "mini-bollard" path lights around the dwelling units.
2. There does not appear to be any problems or deficiencies with the exterior lighting system.

B. Electrical Distribution

1. Metering equipment and common area panelboards are distributed throughout the site (near Buildings 13, 16, 20, 33 and 43) to provide power to exterior lighting and irrigation control equipment.
2. Power for these common area system is through the pad mounted transformer, which serve the dwelling units.
3. The exterior electrical system appears to be in good working condition and does not appear to have any problems or deficiencies.

IX. FINDINGS AND CONCLUSIONS

Based on the electrical Codes under which the Project was constructed, the electrical systems, in general, observed appears to be well maintained and in good working condition.

Based on Code calculations, the existing main service appears to be adequate for the present loads.

There does not appear to be any significant problems with the telephone service or distribution system.

Facility does not have a fire alarm system. Individual dwelling units have smoke detectors with integral alarms outside of the sleeping areas.

Lighting system within the dwelling units and on the exterior of the building appears to be operating without obvious problems or deficiencies. Yellowing polycarbonate diffusers within the kitchen luminaires should be replaced with new clear acrylic, prismatic diffusers.

GENTRY - SUNPOINT ALANEO
ELECTRICAL ASSESSMENT

I. INTERIOR ASSESSMENT SUMMARY:

A. General

In general, the conditions of the units interiors are in good condition. There were no observable signs of electrical conditions, which presented any serious problems. Typical conditions, which repair or replacement are recommended include the following:

1. Receptacles at Kitchen counters near the sink (within 72") are no ground fault (GFI) protected.

Recommendation: Replace receptacles (two per kitchen) be replaced with ground fault Interrupter (GFI) type receptacles.

2. Kitchen lighting consists of fluorescent striplights within a ceiling mounted housing with prismatic, polycarbonate diffuser. Diffusers have yellowed due to age and in many instances are sagging.

Recommendation: Replace polycarbonate diffusers with new non-yellowing, acrylic prismatic diffusers.

3. Currently, units have smoke detector/alarms outside of the sleeping areas only. Current Code requires that additional detector/alarms be installed within the sleeping areas.

Recommendation: Provide new smoke detector/alarm with each of the bedrooms.

4. The National Electrical Code requires that all dwelling units at grade level have at least one receptacle on the exterior and that this receptacle be ground fault protected. The 12-plex buildings reviewed did not have outlets at the exterior (lanais).

Recommendation: Provide new weatherproof, ground fault Interrupter (GFI) duplex receptacle at each ground floor lanai.

B. Specific Unit Observations:

1. Unit 16B: Panelboard had missing breaker without covers to conceal live wiring.

Recommendation: Provide plastic, blanking covers for open breaker spaces.

2. Unit 33V: Exterior luminaire at door was not properly supported.

Recommendation: Resupport luminaire to existing outlet box.

III. LIGHTING:

A. Kitchen

1. Lighting in this room consist of surface mounted strip fluorescent luminaires mounted with a surface mounted enclosure with prismatic, polycarbonate diffusers. Because of age, the polycarbonate diffusers have "yellowed" because of the ultraviolet of the fluorescent lamps. Further, many of the diffusers have begun to sag, also due to age.
2. The fluorescent striplights appear to be in good working condition without observable signs of problems. However, it is recommended that these polycarbonate diffusers be replaced with new clear, prismatic, non-yellowing acrylic diffusers.

B. Other Areas

1. Illumination with the other rooms is accomplished with surface mounted incandescent luminaires.
2. The incandescent luminaires appear to be in good working condition without observable signs of problems.

IV. WIRING DEVICES:

A. Switches

1. Light switches are "residential grade" type and are generally mounted at +45°.
2. In general, the existing wiring devices do not appear to have any significant deficiencies or operational problems.

B. Receptacles

1. Duplex receptacles are "residential grade" and are generally mounted at +8" AFF.
2. Receptacles at the Bathroom and Lanais are ground fault protected by a ground fault interrupter (GFI) type circuit breaker with the panelboard.
3. Receptacles above the kitchen counter (near the sink) are not ground fault protected as required by the current Code. It is recommended that these receptacles within 72" of the sink be ground fault protected by replacing the receptacles with new GFI type receptacles.
4. The 12-plex buildings observed did not have GFI type outlets at ground floor Lanais as required by current Code. It is recommended that GFI type outlets be added at all ground floor Lanais.
5. With the exception of the GFI outlets at the Kitchen and the need for GFI receptacles at all ground floor Lanais, the existing wiring devices do not appear to have any significant deficiencies or operational problems.

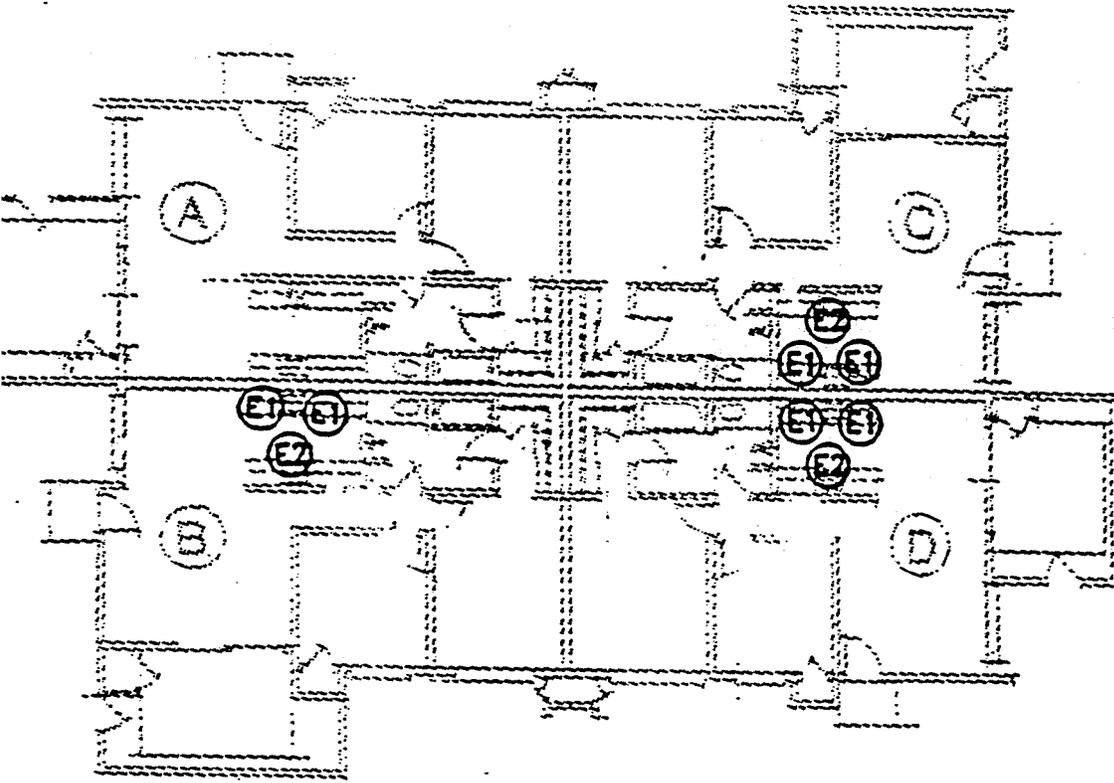


Electrical - 2

A handwritten signature in black ink, appearing to read "Darrell T. Itano".

E-1 Replace duplex receptacle with new GFI type.

E-2 Replace polycarbonate diffusers (two 2 X 4) with new acrylic prismatic diffusers.



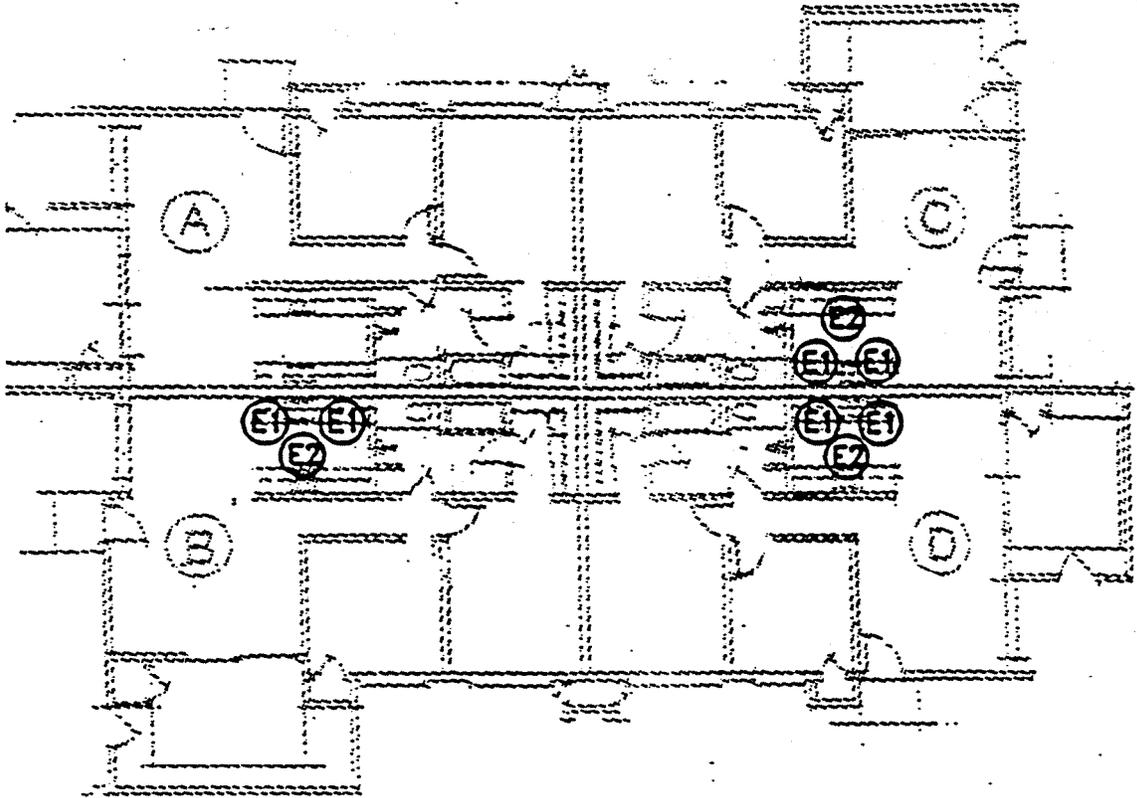
FIRST FLOOR PLAN
SC: 1/16" = 1'-0"

4-PLEX BUILDING #8
GENTRY SUNPOINT ALANEO

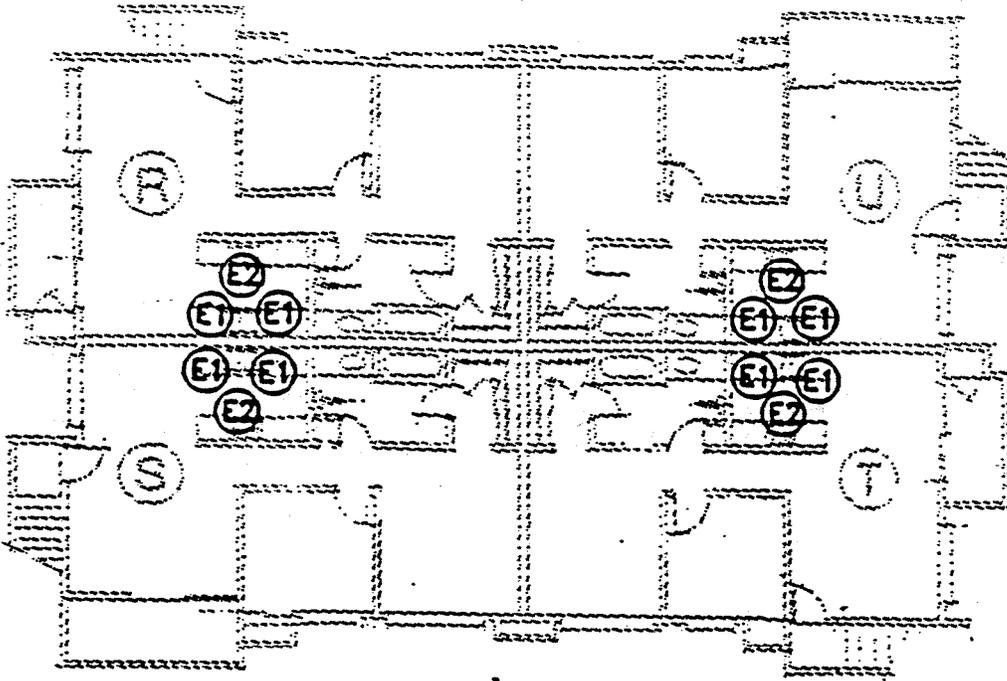
SIEDA & ASSOCIATES INC

E-1 Replace duplex receptacle with new GFI type.

E-2 Replace polycarbonate diffusers (two 2 X 4) with new acrylic prismatic diffusers.

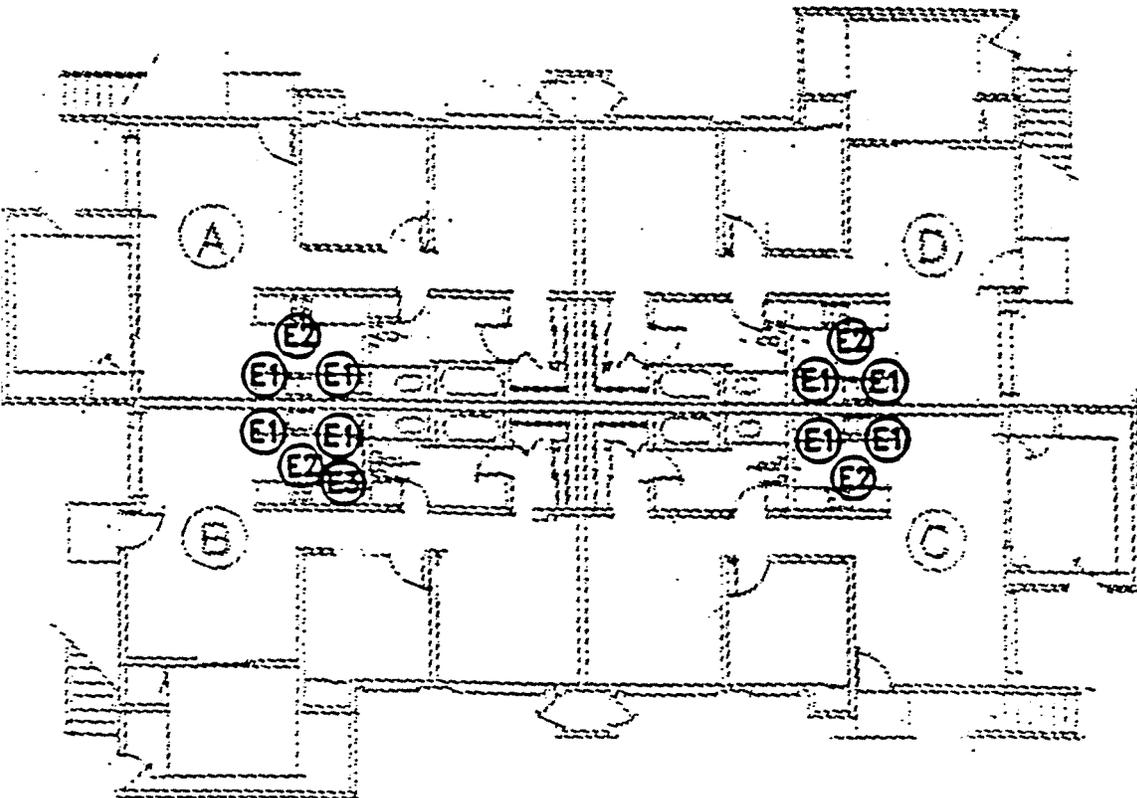


FIRST FLOOR PLAN
SC: 1/16" = 1'-0"



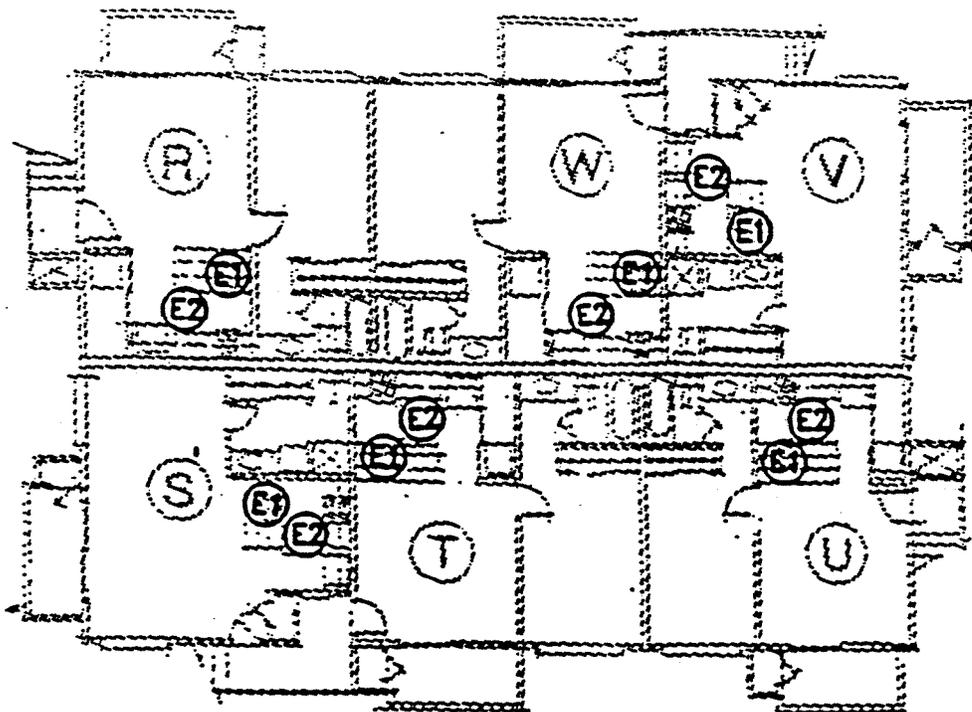
- E-1 Replace duplex receptacle with new GFI type.
- E-2 Replace polycarbonate diffusers (two 2 X 4) with new acrylic prismatic diffusers.
- E-3 Provide blanking cover for missing breakers (2).

SECOND FLOOR PLAN
 SC: 1/16" = 1'-0"



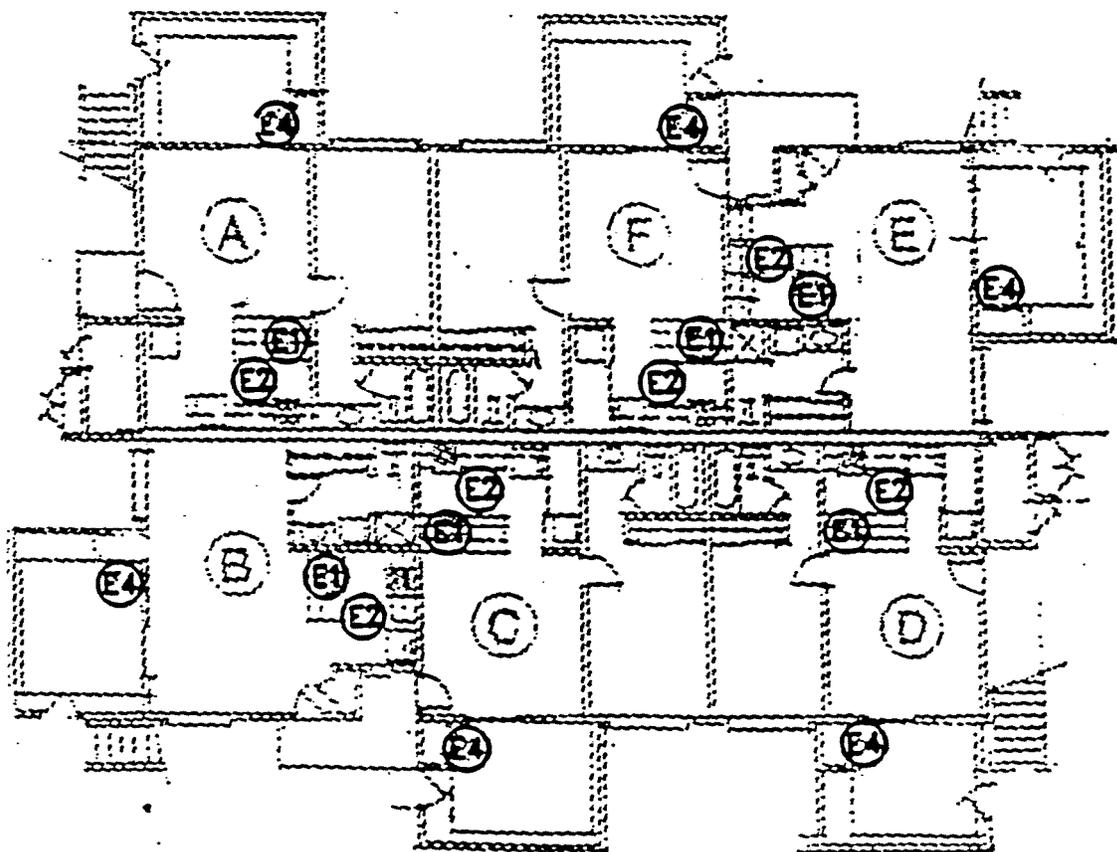
FIRST FLOOR PLAN
 SC: 1/16" = 1'-0"

8-PLEX BUILDING #16
 GENTRY SUNPOINT AT ANFO



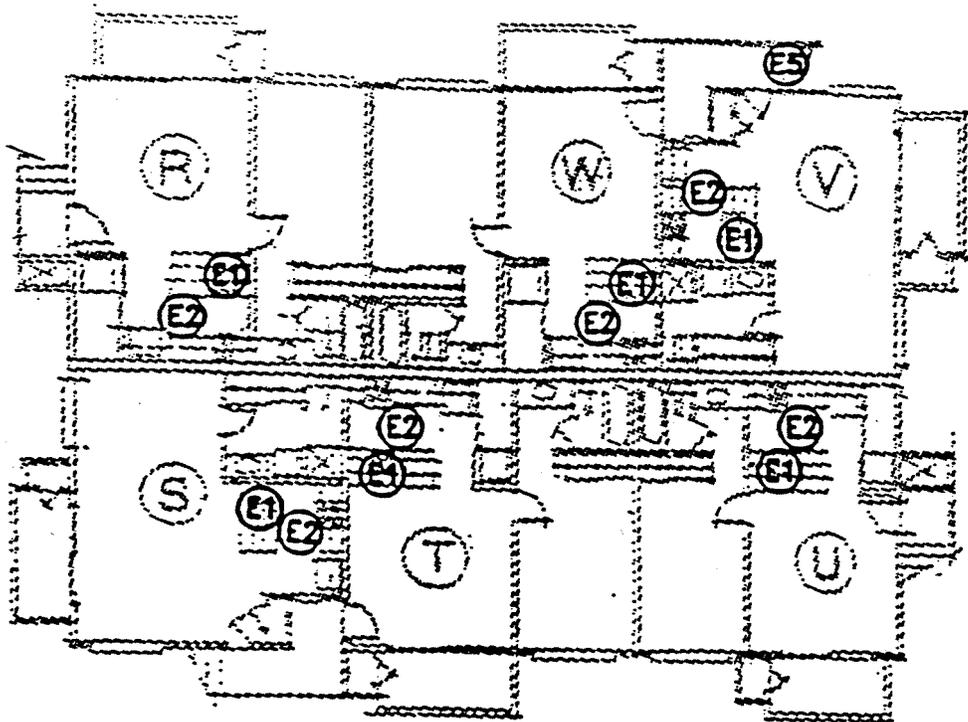
- E-1 Replace duplex receptac with new GFI type.
- E-2 Replace polycarbonate diffusers (two 2 X 4) with new acrylic prisma diffusers.
- E-4 Provide new duplex, weatherproof GFI type receptacle at Lanai, if required.

SECOND FLOOR PLAN
 SC: 1/16" = 1'-0"



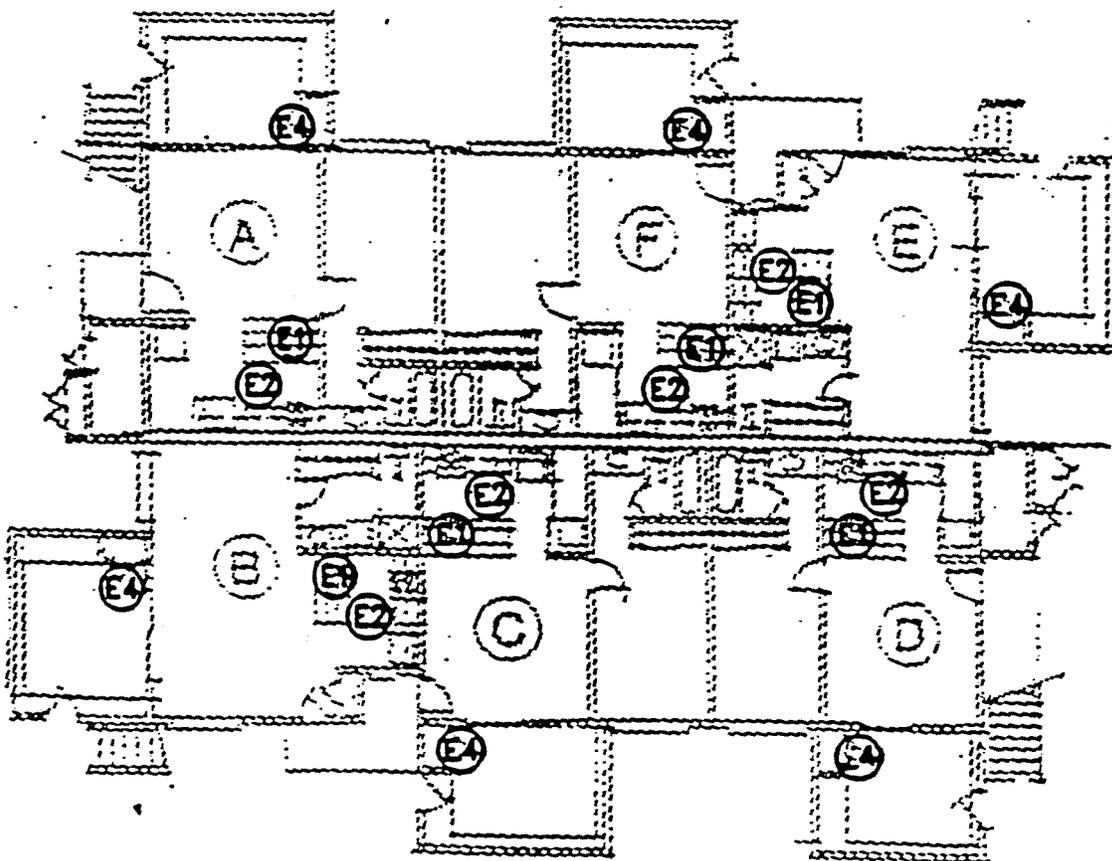
FIRST FLOOR PLAN
 SC: 1/16" = 1'-0"

12-PLEX BUILDING # 24
GENTRY SUNPOINT ALANEO



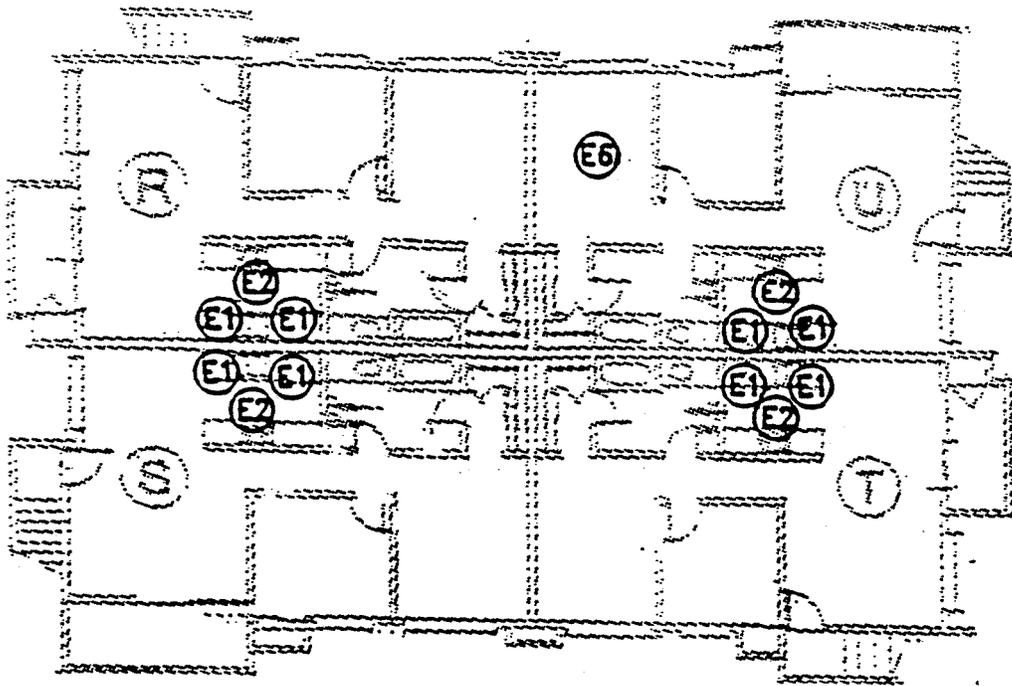
- E-1 Replace duplex recepta with new GFI type.
- E-2 Replace polycarbonate diffusers (two 2 X 4) with new acrylic prism diffusers.
- E-4 Provide new duplex, weatherproof GFI type receptacle at Lanai, 1 required.
- E-5 Resupport existing wall mounted luminaire.

SECOND FLOOR PLAN
 SC: 1/16" = 1'-0"



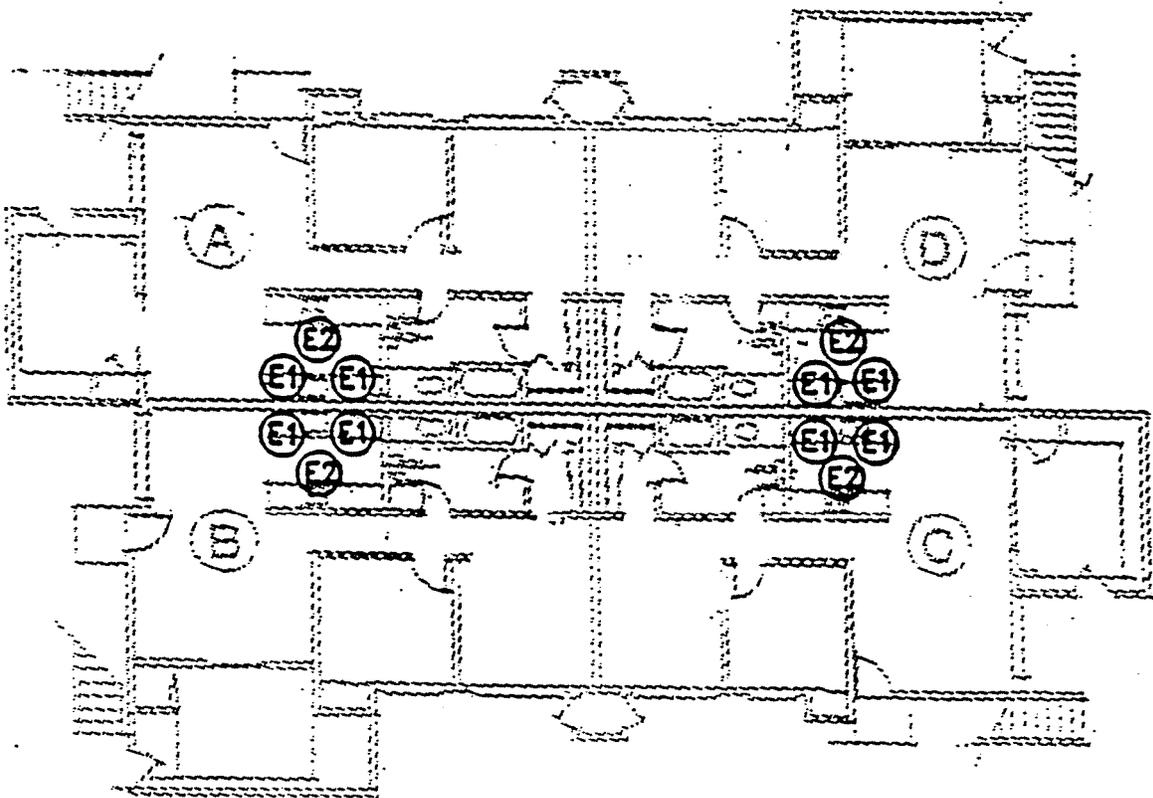
FIRST FLOOR PLAN
 SC: 1/16" = 1'-0"

12- PLEX BUILDING #33
GENTRY SUNPOINT ALANEO



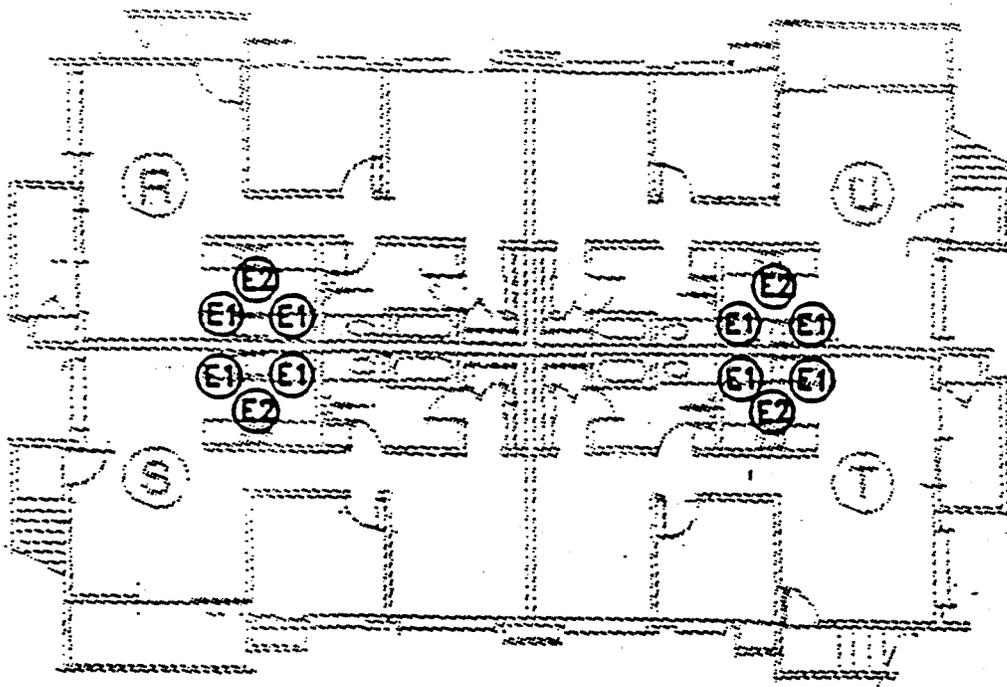
- E-1 Replace duplex receptacle with new GFI type.
- E-2 Replace polycarbonate diffusers (two 2 X 4) with new acrylic prismatic diffusers.
- E-6 Replace ceiling fan.

SECOND FLOOR PLAN
 SC: 1/16" = 1'-0"



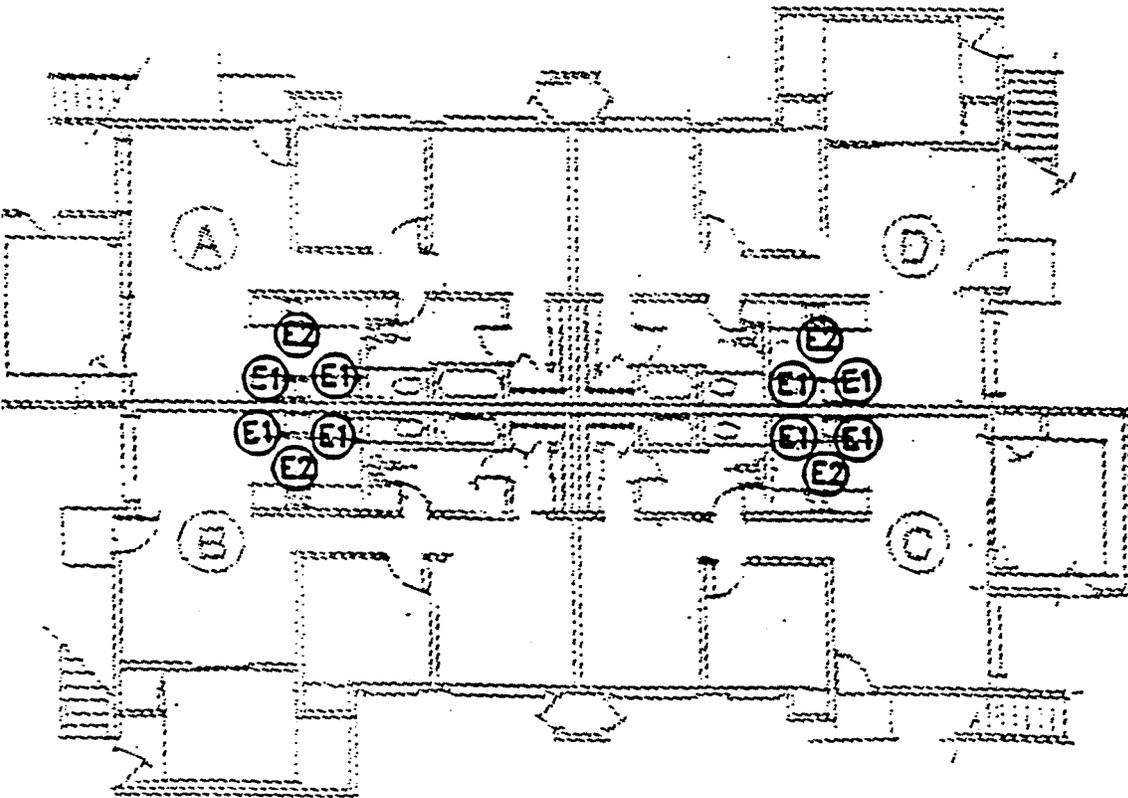
FIRST FLOOR PLAN
 SC: 1/16" = 1'-0"

8-PLEX BUILDING #39
GENTRY SUNPOINT ALANEO



- E-1 Replace duplex receptacle with new GFI type.
- E-2 Replace polycarbonate diffusers (two 2 X 4) with new acrylic prismatic diffusers.

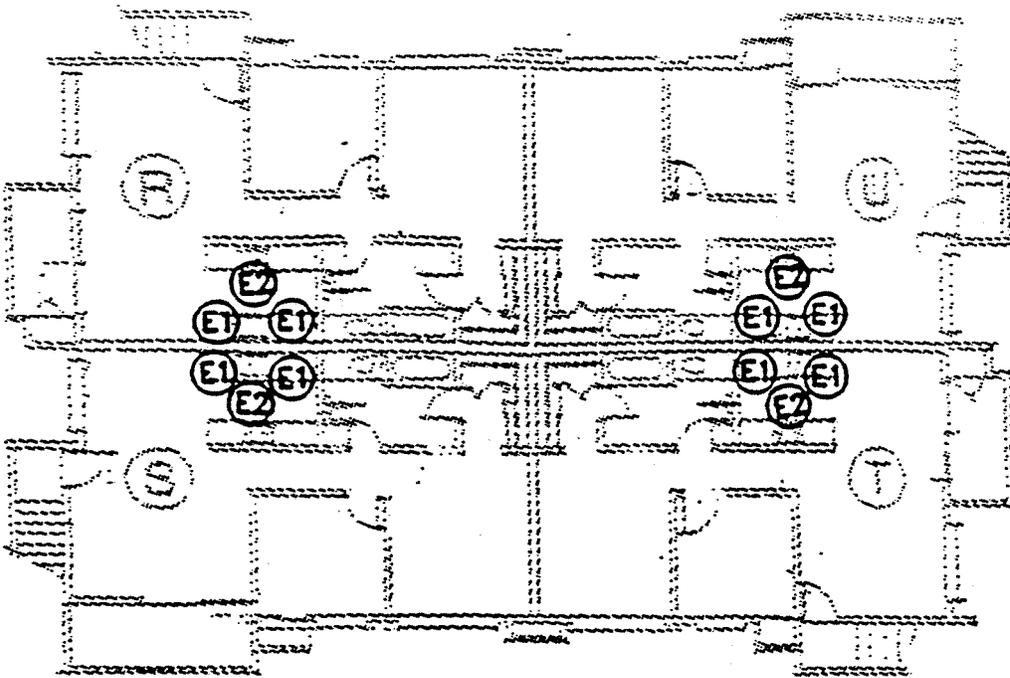
SECOND FLOOR PLAN
 SC: 1/16" = 1'-0"



FIRST FLOOR PLAN
 SC: 1/16" = 1'-0"

8-PLEX BUILDING #41
GENTRY SUNPOINT ALANEO

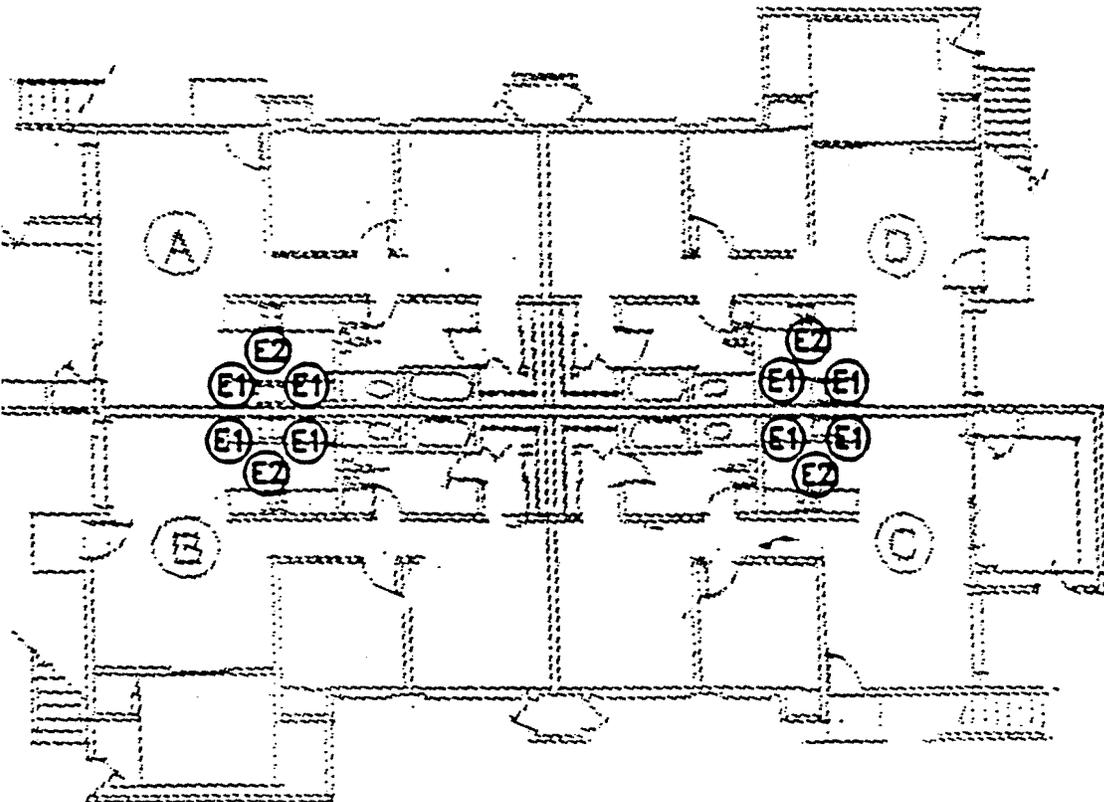
SUEDA & ASSOCIATES, INC



E-1 Replace duplex receptacle with new GFI type.

E-2 Replace polycarbonate diffusers (two 2 X 4) with new acrylic prismatic diffusers.

SECOND FLOOR PLAN
 SC: 1/16" = 1'-0"



FIRST FLOOR PLAN
 SC: 1/16" = 1'-0"

8-PLEX BUILDING #45
GENTRY SUNPOINT ALANEO

SUEDA & ASSOCIATES INC.